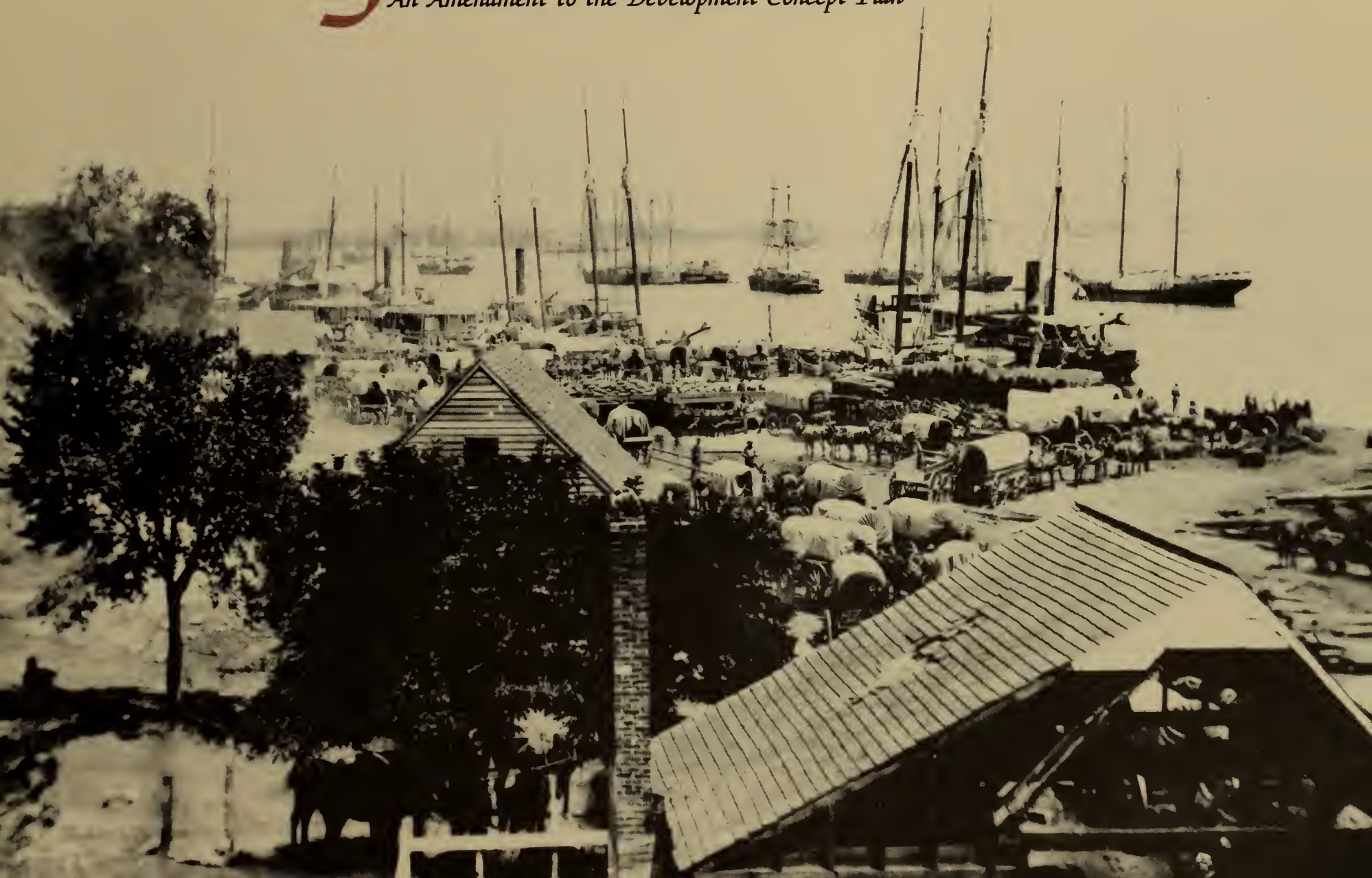


City Point

An Amendment to the Development Concept Plan



City Point

AN AMENDMENT TO THE DEVELOPMENT CONCEPT PLAN

Prepared by:
National Park Service
Mid-Atlantic Regional Office
Division of Park and Resource Planning

For:
Petersburg National Battlefield
June 1992

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INTRODUCTION

CITY POINT AND THE CIVIL WAR

For four long years, from the very beginning of the Civil War, "on to Richmond" was the rally cry of Union troops. Richmond was the capital of the Confederacy and a primary supply depot for the Eastern theater of war. Seven campaigns were directed at Richmond. Of them all, two managed to get within sight of the capital...but they advanced no closer. Finally, Grant proclaimed, "the key to taking Richmond is Petersburg."

When the Union Army crossed the James River and engaged the Confederate forces at Petersburg, Ulysses S. Grant, General-in-Chief of the Union Armies, established his headquarters and a huge new supply base at the confluence of the Appomattox and the James Rivers, transforming the hamlet of City Point, Virginia, almost overnight into one of the busiest seaports in the world. Hundreds of ships arrived off its shores bringing food, clothing, ammunition and other supplies for the Union Army. The battered City Point Railroad was rebuilt and extended southwest behind Union lines. Twenty-six locomotives and 275 railroad cars were then brought to City Point by barge from Washington, D.C., to provide rolling stock for the line.

For ten bloody months of combat, Lee's Confederates defended Petersburg against Grant's numerically superior Federals. On the 2nd and 3rd of April, 1865, Lee was forced to abandon both Petersburg and Richmond. Appomattox Court House, the site of the final surrender, was but a week away.



City Point waterfront July 5, 1864

Library of Congress

LOCATION

The City Point Unit of Petersburg National Battlefield is located on a peninsula at the confluence of the Appomattox and James Rivers in what is now Hopewell, Virginia. City Point, a small hamlet within Hopewell, is about ten miles from the cities of Colonial Heights and Petersburg and twenty miles southwest of Richmond, the state capital. Hopewell is a mostly industrial city surrounded by rural and agricultural lands. It is served by state highway routes 10 and 36, both of which are now linked to interstates 95 to the south and 64 to the north by the recently constructed 295 extension.

Of the two rivers that surround the point, the James has a deep water channel and receives moderate use from ocean-going ships which dock at Richmond's deep water terminal; the Appomattox provides access for small boats travelling to Petersburg. When dredging of the Appomattox is completed, larger boats will be able to travel to Petersburg.

The entire park, encompassing twenty-one acres, became a unit of Petersburg National Battlefield in 1979. All but one acre of this land has been acquired by the National Park Service since that time.

VISITOR USE

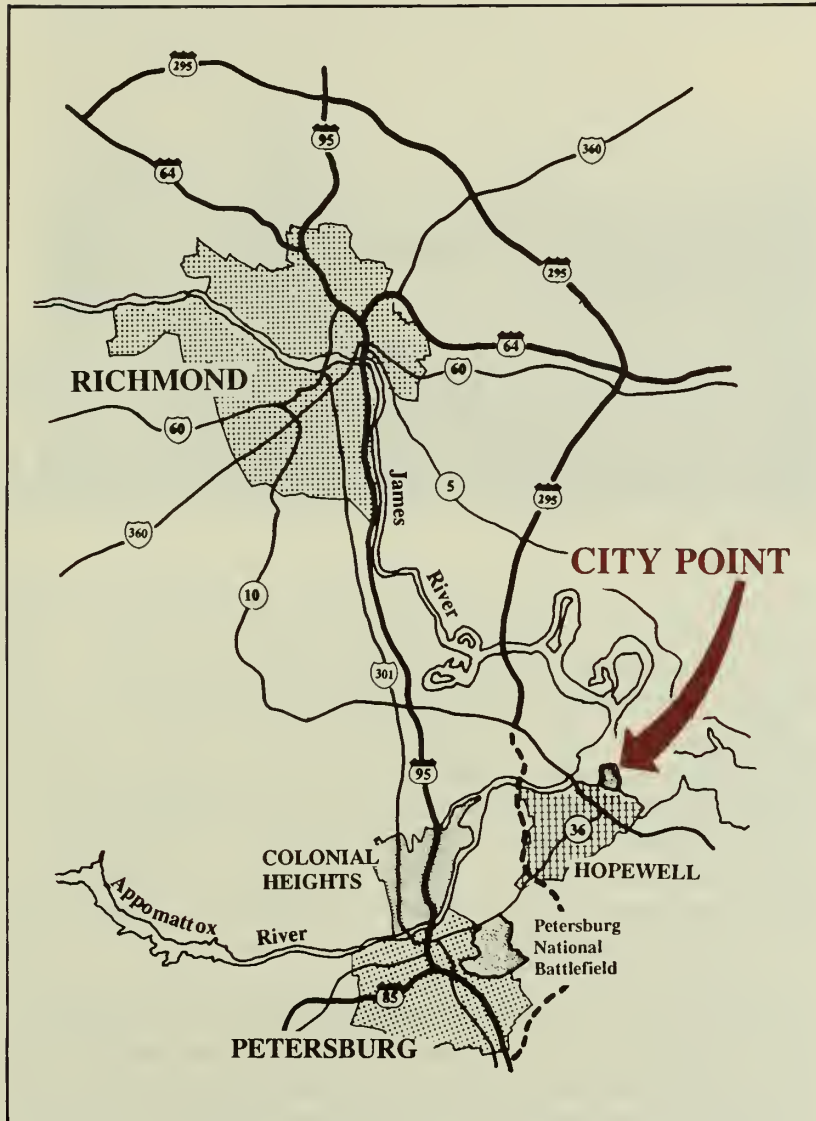
The grounds of the City Point Unit were opened unofficially to visitors in early 1980 following acquisition of the site the year before. Presently, the primary visitor contact point is the Appomattox Manor, where three rooms with nineteenth century furniture are open to view and Civil War exhibits can be found displayed in the foyer. The Manor also houses public restrooms



Location Map

and the administration office. Other buildings that are of interest, but closed to visitor access, are various smaller structures associated with the Manor (the original kitchen, two smokehouses and dairy) and General Grant's restored cabin from the time of the occupation. The Park owns two other houses, Bonaccord and Naldara, both of which are closed to visitors.

All portions of the grounds are open and accessible on foot. This includes approximately one-half mile of beach front on the Appomattox and James Rivers, and a large open lawn associated with the Manor house where there are older plantings and a partially restored garden. Visitors to the unit since 1981 have increased by over 500 percent with 25,000 people making use of the park last year. Of that number nearly 40 percent are people



Regional Context

who do not take tours of the manor house or the grounds. This percentage of use has been consistent throughout the years and implies that almost half of the park's visitors are local residents taking advantage of the natural setting for passive recreation purposes. With the forthcoming opening of Route 295, the promotional efforts by the City of Hopewell to encourage visitors to visit historic sites, more extensive signage, and increased facilities and development at City Point, the number of visitors is likely to increase in the coming years.

ENVIRONMENTAL RESOURCES

Being located on a bluff at the confluence of two rivers within the inner coastal plain makes City Point a fascinating area environmentally. The fact that the area has been inhabited for close to ten thousand years adds another layer of distinction. The influence that habitation has had on the natural environment gives this piece of land a rich and exciting heritage.

City Point is characterized by the contrast between the bluff, upon which most of the structures are located, and the shore line forty feet below. Historically this contrast has also determined land use. The flat land along both the James and the Appomattox was traditionally a port area and there was a railyard in the vicinity of Water Street even before the Civil War. The bluff was occupied by the Eppes family as the residential center of their plantation from the mid- to late 1600s.

Currently, besides the distinction in topography there is a contrast in the existing vegetation. On the bluff is a relatively well-manicured lawn with a combination of specimen trees and native vegetation. Down below, where much of the soil is a mix of rubble and fill, there is an odd assortment of indigenous

successional floodplain and wetland species. On the bluff some of the vegetation is more than one hundred years old, while down by the river there are just a few older specimens and everything else is less than forty years old.

The environmental restrictions along the James are governed by article XV-A as defined by Hopewell City Council's Chesapeake Bay Preservation area overlay district. This recommends a 100-foot buffer area of vegetation as a resource protection area and limits new development to water-dependent projects. Because the park's proposed development of a wharf and dock facility is water-related, there would be limited restrictions imposed on this project.

PARK & COMMUNITY RELATIONSHIP

The park interfaces with the community of City Point in two ways: one is as an extension of the town's historic district, and the other is as a passive recreation area. The park recognizes the historic and significant relationship between the park and the town of City Point, and understands the importance of protecting a valuable cultural resource. Through continued preservation and interpretation of the waterfront, Bonaccord and Appomattox Manor, the park hopes to maintain and enhance the historic heritage of the entire region.

The City Point Unit is included in the historic district of City Point. This district, including the City Point Unit, comprises forty-three acres and was established in 1979 by the Hopewell City Council to "preserve and protect certain architecturally significant and historically important buildings and places in the City Point area." This area was recognized as an historic district in 1978 by the Virginia Historic Landmarks Commission and was



National Archives

City Point ordnance wharf

added to the National Register of Historic Places in 1979. Property in the historic district is subject to the rules and regulations of Hopewell's zoning ordinances (historic district article) and their Board of Architectural Review. The waterfront area has been used traditionally by area residents for fishing or other passive recreational uses. The Park Service is dedicated to maintaining public open space and will continue to provide river access to the people of the community.

With the recent acquisition of the James River property and the Bonaccord tract, the park realizes even more its responsibility to work with its neighbors in developing cooperative planning strategies that encourage land use decisions resulting in mutual benefit to the park, local communities and landowners.

SITE PLANNING ISSUES & ALTERNATIVES

NEW LANDS AND NEW PLANS

Legislation authorizing City Point to become a unit of Petersburg National Battlefield was signed into law in 1978. A year later, the major portion of the property was purchased by the National Park Service. Shortly thereafter, planning for site development commenced and a Development Concept Plan (DCP) was produced in 1986 to guide park management and development. A General Management Plan for all Petersburg National Battlefield sites is scheduled for 1992 which will provide overall guidance for park management.

Recent acquisition of additional properties called for an amendment to the 1986 DCP. This amendment is intended to address specifically the use and development of two additional parcels to the City Point Unit of Petersburg National Battlefield: the Bonaccord property which includes a pre-Civil War era residence; and the James River Waterfront parcel, which consists of a linear tract of land along the James River.

HISTORICAL DESCRIPTION OF PROPERTIES

Bonaccord

The Bonaccord property, containing just over an acre of land fronting on Pecan Avenue, was purchased by the Park Service in 1986. The Bonaccord house was constructed between 1842 and 1845 by the first rector of St. Johns Church. It was originally built as the rectory for St. Johns Church, but its use during the Civil War is unclear. The architectural style is modified Greek Revival, and many think Bonaccord is one of Hopewell's finest landmarks.

The building suffered substantial damage during the Civil War when General McClellan's Union gunboats shelled the Confederates at City Point in the spring and summer of 1862. Damages were sustained on the roof of the north side of the house and on the southwest chimney. There is no indication of how the house was used during the time of Grant's occupation. Records

show that, in 1868, repairs were made to the damaged sections of the house, and it was at that time that the current owner, Elizabeth Cocke, gave the house the name "Bonaccord" in memory of a property her husband had owned in Prince George County.

The house had fallen into disrepair by the time the Eppes family purchased it in 1903. They added a two-story rear wing, front and side porches and a pre-fabricated garage in 1916. The house remained in the Eppes family until the National Park Service acquired it in 1986.



The Bonaccord property

James River Waterfront

On June 15, 1864, Lieutenant-General Ulysses S. Grant, then General-in-Chief of all Union armies, arrived at City Point to conduct military operations against Petersburg. Petersburg, ten miles away, served as a major railway and manufacturing center for the Confederate cause and was the main supply link to Richmond, the capital of the Confederacy.

Grant chose City Point as his headquarters because of its strategic location; besides the direct water communication with the Capital in Washington, D.C., it provided a quick and easy route for supplies sent up the James from Norfolk. From the James River, the City Point railroad made a direct connection with the Union lines in Petersburg.

City Point at that time was the scene of the largest logistical operation of the Civil War and one of the busiest ports in the entire world. The docks stretched along a half mile of the waterfront, covering a 350,000 square foot area. As many as two hundred ships a day could be seen sailing on the James. Supplies unloaded at City Point daily provided 1,400 tons of food, clothing, ammunition and other goods. They were then transported by train to the front lines at Petersburg. Among the docks and wharves were numerous train maintenance and repair shops that kept the trains running without interruption. From City Point, Grant supplied over 100,000 men and 65,000 horses and mules at the front. Twenty-six locomotives and 275 rail cars had been brought to City Point by barge from Washington to take part in this crucial operation.

The logistics and headquarters operations at City Point were responsible for the ultimate collapse of Lee's army and the Confederacy. For two of the last three weeks of his life,

President Abraham Lincoln had his executive office at City Point. Lincoln visited Grant's Headquarters in June, 1864, and again from March 24 to April 8, 1865.

Living on board the River Queen, Lincoln came to City Point to be "nearer to the end of General Grant's present movement." The last telegram of military importance sent by President Lincoln came from here on April 7, 1865:

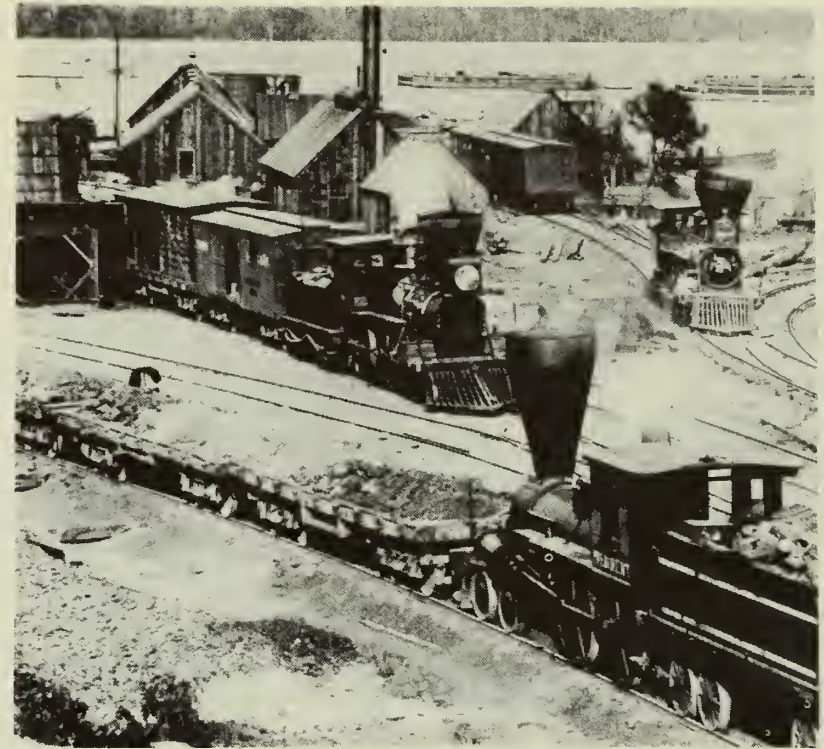
General Sheridan says, "If the thing is pressed, I think that Lee will surrender." Let the thing be pressed.

A. Lincoln

After the war many of the wharves and buildings were dismantled by the troops stationed there. What was left was purchased by Richard Eppes, who returned to live on his property in March, 1866. The property remained in the Eppes family up until 1978, when Congress authorized the Secretary of the Interior to acquire the Eppes Manor and adjacent lands, not to exceed twenty-one acres, for addition to Petersburg National Battlefield.

STEPS TOWARD A PREFERRED ALTERNATIVE

As a means to share information and gather ideas, the planning team developed an interactive planning process aimed at encouraging participation and providing opportunities for public input. In order to better assess community concerns, several public meetings were held over the past year. The first, in July of 1990, was a workshop in Hopewell at which twenty participants identified important issues and discussed their ideas and concerns for park development. At the second public meeting, held in City



City Point Railroad 1864

Library of Congress

Point in June, 1991, three alternative concept plans for site development were presented, followed by an open forum to discuss issues and preferences for development.

In addition to the meetings, the National Park Service (NPS) published two newsletters to help keep people informed of plans for the City Point Unit. The second newsletter, published in May, 1991, described three alternative concepts and explained various

ways in which they could be implemented (Appendix A). Included in the newsletter was a mail-back form encouraging public response to the concept alternatives presented and suggestions for other improvements.

All comments, including a letter from the City of Hopewell, were reviewed and taken into consideration when the park planning team met and made a decision on a preferred alternative. What has been encouraging throughout the public review process is the widespread community interest in this project. It became clear that many residents are interested in maintaining the historic character of City Point and improving the quality of life through the development of resources associated with the area's past. The following section highlights issues that were considered when developing the preferred alternative.

PUBLIC RESPONSE TO CONCEPT ALTERNATIVES

James River Waterfront Issues

There are many issues to consider in the development of the Waterfront parcel. Within the community, people view this area in two distinct ways: those who have a fondness for spending leisure time along the river--meeting with friends, fishing, talking and generally enjoying the view out across the water--expressed concern that the Park Service would alter their ability to make use of this resource by limiting access to it; residents who live in the vicinity of Water Street expressed concern about disruptive nighttime activity and an interest in changing the level of accessibility to the area.

In the public meeting and within the planning team discussions, two large issues emerged. One was the possible closure of Water

Street, the other was the extent of development that should be allowed on the waterfront. A variety of alternatives for limiting access to Water Street were discussed: closure from Pecan Avenue to Pierce Street, partial closure from Pecan to Maplewood with a new connection to Maplewood Avenue, and closure from Pierce to Maplewood, with a new piece of road connecting Maplewood to Water Street.

The proposal to close Water Street to vehicular use was met with mixed feelings. Some people feel that there are a lot of undesirable activities (drinking, loud noise, drag racing) that would be eliminated by closing the street. Others think, and the City of Hopewell concurred, that closing Water Street would create traffic problems and could potentially pose a danger for emergency access. It was noted that many local people enjoy the river by a simple drive along the street without leaving their vehicles. Enhanced lighting for the area was suggested as a way to increase security for the area.

There was much support for the idea of the boat dock, but concern was voiced for how large it might be and who would have access to it. All agreed that it was the type of implementation that would be an impetus for positive change at City Point and a great addition to the park facilities, especially if tour boat visitors had access to the park and town.

Bonaccord Issues

Three possibilities for Bonaccord's future use were presented in the alternative concepts newsletter (Appendix A).

Most people supported the restoration of Bonaccord and an historic lease to accommodate low-activity use. Several people have inquired about the possibilities of leasing the building for

THE PREFERRED ALTERNATIVE

SITE DEVELOPMENT CONSIDERATIONS

The National Park Service recognizes the historic and significant relationship between the park and City Point Historic District and the need to cooperate with local governments, organizations and citizens so that important resource values can be protected.

Finding ways to blend the park's objectives of conservation and interpretation and the community's desire to achieve quality of life and economic development goals involves widespread cooperation. This plan supports the desire between the park and its neighboring communities to develop cooperative planning strategies that encourage land use decisions which result in mutual benefit to the park, local communities and landowners.

The level of development in this preferred proposal represents a blend of preservation, adaptive re-use and new development. It responds to the concerns of local residents for positive community development as well as fulfilling management objectives of the park.

MANAGEMENT OBJECTIVES

Management objectives are broad conceptual descriptions of what the park area could become based on resource conditions and the desired visitor experience:

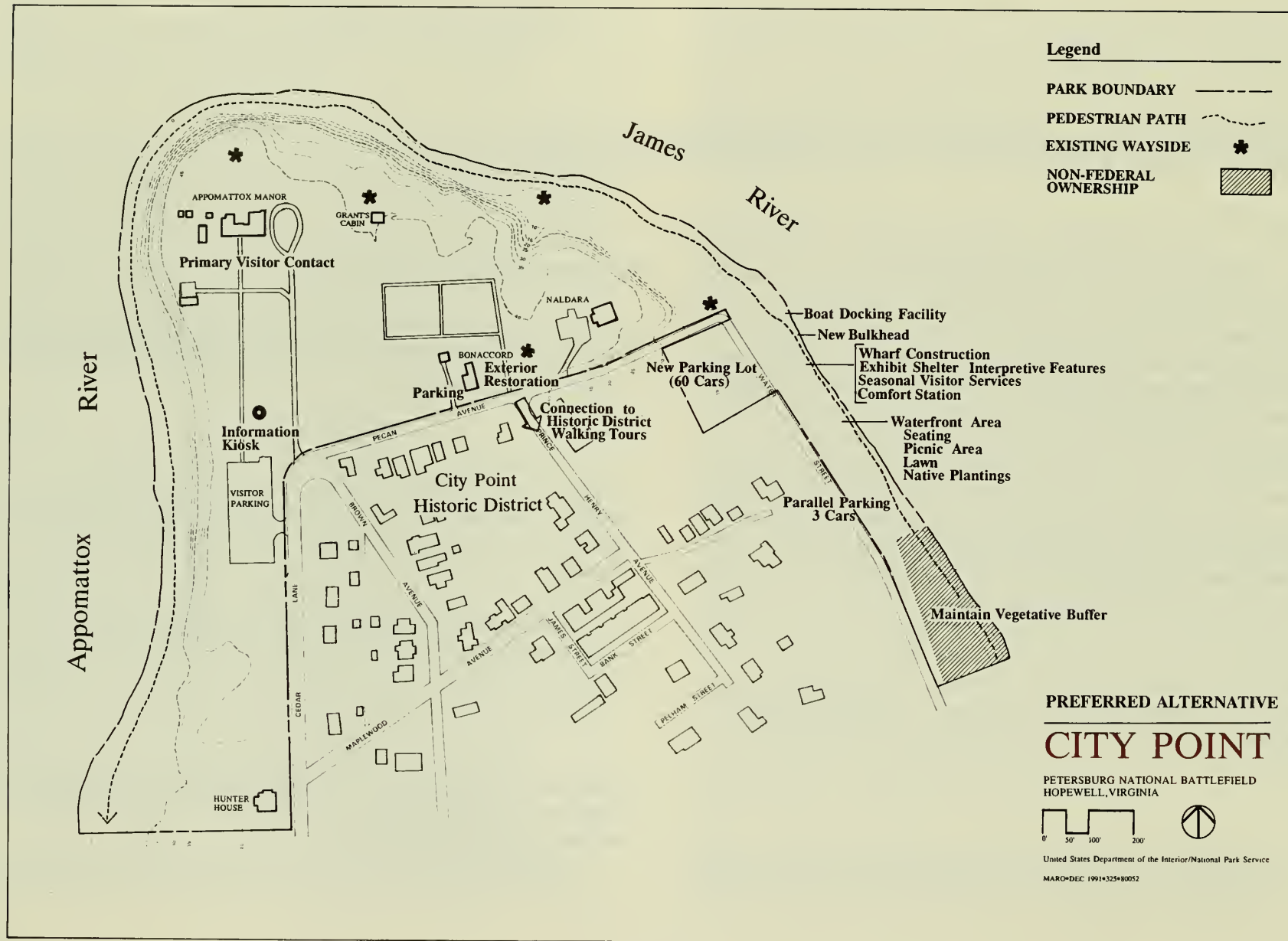
Interpretation

To commemorate and interpret the logistical and supply operations supporting the Union armies and Grant's command headquarters in front of Petersburg and Richmond during 1864-65

To interpret land use history as a means of providing the visitor with an understanding of the broader historical context for City Point

Landscape

Bluff Area: To preserve the landscape elements that reflect City Point's land use history up until the last Eppes family member occupied the grounds



Waterfront Area: To develop the waterfront in such a manner as to enable visitors to better understand City Point's pivotal role in supporting the Union armies with military supplies, communications and transportation

Adjacent Land Use

To convey to the visitor the rural setting in which Grant's Headquarters and supply operation were located

INTERPRETIVE THEMES

Instilling an understanding and appreciation of the sites and stories of City Point to visitors is a primary objective of the park. The park's interpretive program is based upon the following themes:

Civil War Theme: "The importance of the supply and logistical operation at City Point to the victory of the Union Army in the Virginia Theater during the Civil War" includes the story of Grant's headquarters and command post at City Point from which he led the movements of Union troops. It also includes the extensive waterfront supply operations that fed, clothed and armed the front lines at Petersburg.

Land Use History Themes: Interpreting City Point's land use history provides the broader historical context for City Point. Apparently, the location which General Grant found strategic was appreciated by those who based their way of life on the natural offerings of the Tidewater. For more than 10,000 years City Point has been occupied by human beings. Native Americans camped and hunted along the shores of the rivers. In 1607, English colonists founded the first permanent settlement in the New World at Jamestown. Shortly thereafter, Captain Newport

found the City Point area populated by Appomattuck Indians. Francis Eppes was granted title to fertile lands along the Appomattox River at City Point in 1635. It was settled during the earliest phases of the plantation economy, which included ownership and utilization of slaves, and is one of the oldest English colonial land grants in the United States to remain in the same family (344 years).

INTERPRETIVE OPPORTUNITIES AND DEVELOPMENT

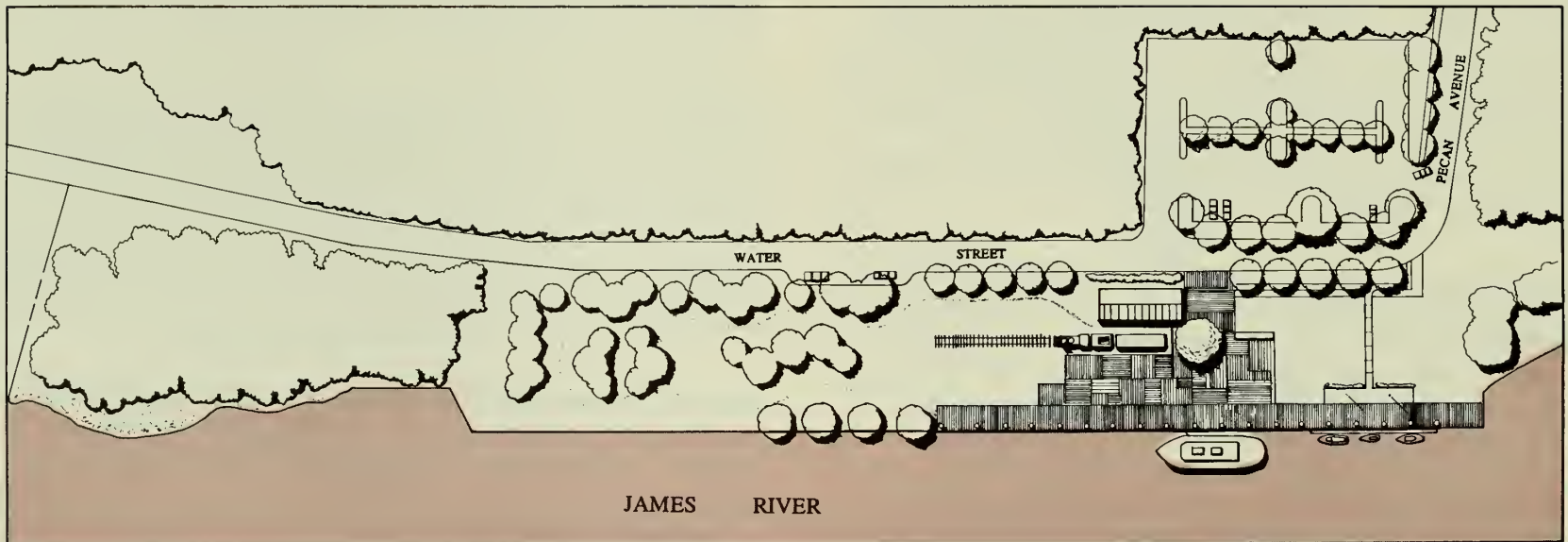
Upon arrival, an information kiosk at the Manor parking area will orient visitors to the park and Historic City Point. Appomattox Manor will serve as the primary visitor contact center. Visitor services and facilities would include an information desk, a three-dimensional map, an audio-visual program, a staging area for special tours related to various themes throughout the park and town, and public restrooms.

Interpretation would be provided at several locations through a variety of facilities and interpretive programs. The park and the city will work together on developing a walking tour brochure. The guide could interpretively connect Appomattox Manor, Grant's Cabin, the waterfront and Historic City Point in order to tell the story of the Union Army establishing a huge supply base at the confluence of the Appomattox and James Rivers, transforming City Point into one of the world's busiest seaports.

The James River property is the site of Civil War wharves, port facilities and rail lines that were crucial to the Union's supply efforts. Although there is nothing left of the original docks or rail lines, and it would be impossible to recreate the teeming life of the waterfront during those times, wooden boardwalks, wharves



A view down Pecan Avenue to the James River



Plan view of the proposed wharf and docking facility

and docks are proposed to evoke the historic character of the Civil War supply wharf area. A visitor shelter built upon the wharf might take the form of an open-sided warehouse. The shelter could house exhibits providing orientation to the historic waterfront and its relationship to the larger setting of Petersburg. Also in the exhibit shelter could be reproductions of the various types of boxes and barrels on which people could sit. Labels will tell visitors how many of each type of item would have to be shipped to the front each day. This would help convey the scale of the operation. An optional part of this exhibit, taken on as a cooperative effort among the NPS, Civil War groups, private organizations or the City of Hopewell, could be the design and construction of a monument, sculpture or memorial recognizing the significance of City Point during the Civil War.

The southern portion of the site will be enhanced to provide for passive recreation. Shaded sitting areas, picnic facilities and parking with open views of the river will provide visitors an opportunity to enjoy the river setting.

Outdoor exhibit items placed along the waterfront to further interpret supply operations at City Point might include a short length of railroad track, piles of representational artillery shells, representational heavy artillery pieces, and/or a representational U.S. Military Railroad boxcar or locomotive.

When dredging of the Appomattox River is completed, opportunity exists for boat trips offering Civil War tour guide services to interpretively connect historical events at City Point, Petersburg, Richmond and other related sites.

The waterfront could become a place where special events celebrating City Point's Civil War heritage could be co-sponsored by the park and the city.

While the James River waterfront parcel presents many opportunities for interpretation and development, the Bonaccord site is more difficult to interpret. The house, built during one period and added to in another over fifty years later, has no record of use during the Civil War. Fortunately, there have been no additions since those performed in 1916, and the structure is in good condition. The Park Service will restore the exterior of the house to the time of the last major addition (1916) and will pursue an historic lease or special use permit to accommodate low-activity uses such as Bed & Breakfasts or professional offices.

Recommended Landscape Actions

The fence that now exists at the northern edge of the waterfront parcel would be removed to unify the waterfront area. An appropriate landscape treatment for the waterfront might include: sitting areas, a picnic area and pedestrian pathways. The present asphalt/gravel parking area will be relocated. The vegetation at the south end of the waterfront will be maintained to provide a screen from industrial development. The telephone and power lines along Pecan and Water Streets will be buried. The sidewalk along Pecan Avenue connecting the waterfront parking area with City Point Historic District will be repaired/replaced.

Access and Circulation

A well-lit parking area to accommodate sixty cars will be developed at the east end of Pecan Avenue on the south side of the street. Three parallel parking spaces with views of the river will be developed along Water Street at the south end of the waterfront. A small parking area will be developed at Bonaccord to accommodate guests to the house. Brochures for suggested walking tours of the park and City Point Historic District will be distributed at Appomattox Manor, Bonaccord and the waterfront.



A view of the existing waterfront area looking north on Water Street



Artist's rendering of the proposed waterfront development

COMMUNITY INITIATIVES

There are now and will continue to be opportunities for the community to get involved in park functions and interpretation. Potential community initiatives could include:

- development of a community-based volunteer organization that could provide guides for interpretive tours of the park, community and river;
- raising funds for park and community development projects, interpretive exhibits, special events, etc;
- assistance to the park by local garden clubs through development and maintenance of the gardens and grounds;
- working with the National Park Service towards developing a linear park along the Appomattox River connecting City Point with other sites and resources; and
- conversion of Bonaccord into a heritage center by a civic organization, educational groups or institutions to be used for research and learning about the Civil War.

PARK MANAGEMENT AND FACILITIES

MANAGEMENT ZONES

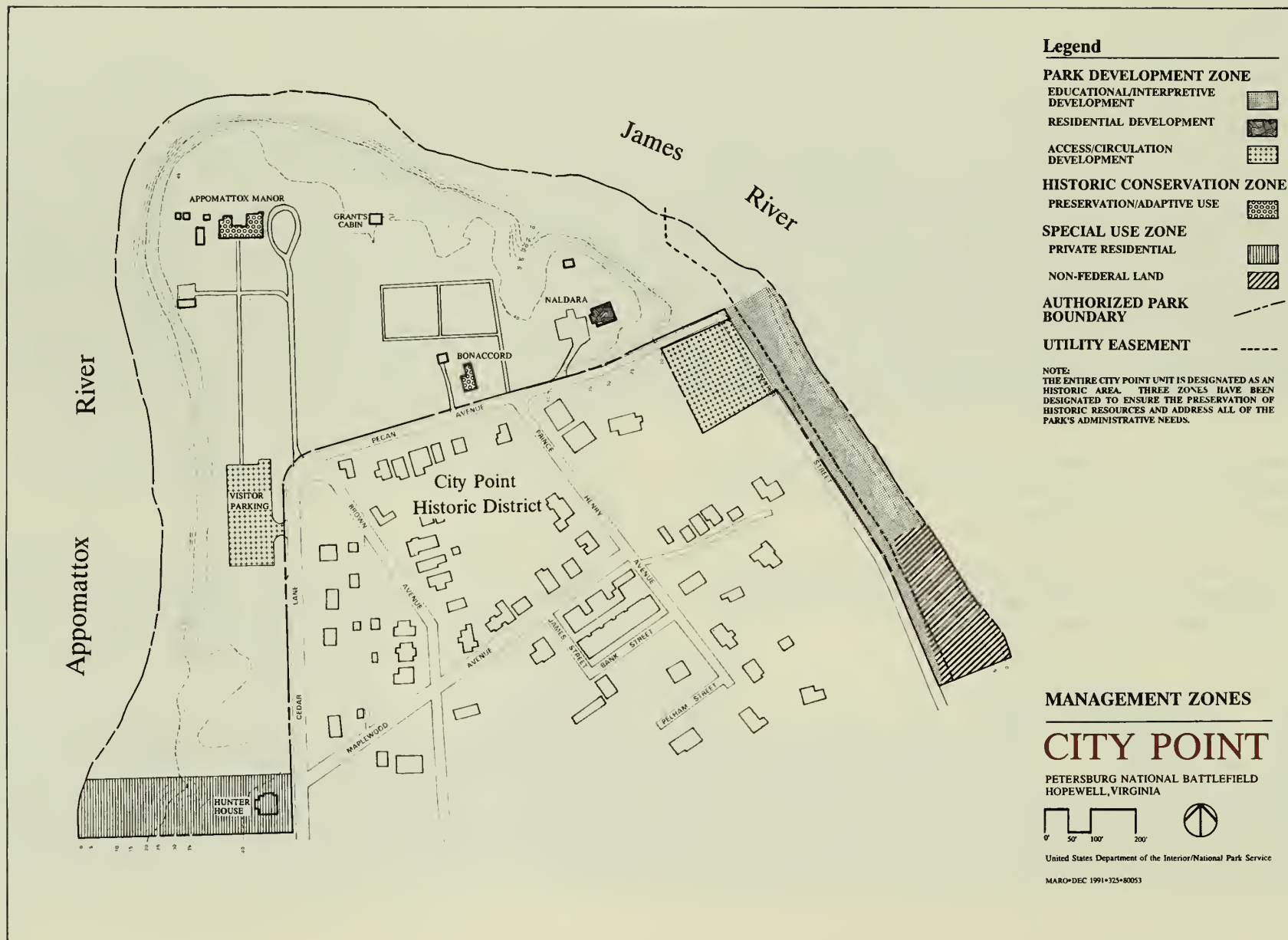
Management and land use zoning delineations have been developed for City Point. The zoning system defines a broad framework for site management and is based on the historical significance of site resources, existing development, new acquisitions, and public use consistent with management objectives and mandates. The zones also define management emphasis and limit options for future site development and use. Designations provide guidance for planning, design and implementation of specific uses and activities. Because the entire City Point Unit is designated as an historic area, the management emphasis is on preservation, protection and interpretation of cultural resources and their settings. This includes all historic buildings, the grounds, gardens and all their accompanying features. Three zones have been designated to ensure the preservation of historic resources and address all of the park's administrative needs.

Park Development Zone

This zone includes three subzones: **access/circulation** comprising the parking areas proposed, **residential development** which includes Naldara as a park personnel residence, and an **educational/interpretive zone** comprising the waterfront area.

Historic Conservation Zone

The boundary of the park historic zone is the same as the boundary of the National Historic District property which encompasses all of the park as well as most of City Point. Within the Historic Zone, one subzone, **preservation/adaptive use zone**, has been designated. This includes Bonaccord and Appomattox Manor.



Special Use Zone

The two subzones in this category are: **private residential**, which was created for managing the one park-owned property occupied by a private resident called the Hunter house, and **non-federal land** consisting of the one-acre property along the southeast end of the James River waterfront.

MAINTENANCE FACILITY

Existing maintenance facilities are split between two buildings. The carriage house (ca.1916) next to Appomattox Manor houses the woodworking shop and allows for some storage of lumber. A temporary aluminum shed, set behind Naldara, provides shelter for the grounds maintenance equipment, paint, a tractor and some miscellaneous equipment.

As the park has acquired land and buildings, maintenance responsibilities have increased, necessitating more modern and efficient facilities to carry out the everyday tasks around the park. For efficiency, the park would like to consolidate the maintenance operation into one building located in a position convenient to the park. Several alternative locations for a maintenance facility on park property have been explored. The environmental assessment determined that an on-site facility would have too great an impact on the cultural, natural and archeological resources and on visitor experience and adjacent land owners. Therefore, a search for an off-site maintenance facility location will be initiated.



Existing maintenance shed located behind Naldara

STAFFING AND OPERATIONS

Currently the City Point Unit is open seven days a week from 8:30 a.m. - 4:30 p.m. throughout the year. It is staffed by two full-time permanent interpreters, and the grounds and buildings are maintained by one permanent full-time maintenance person and one permanent person subject to furlough. Seasonal employees at various times throughout the year assist with both interpretation and maintenance.

As discussed, the primary interpretive contact station is at Appomattox Manor. Park interpreters provide visitors with information on the land use history of City Point. With the use of a scale model of City Point and an audio-visual display, the rangers interpret the area of occupation, explaining the significance of the area as a supply depot instrumental in the winning of the siege of Petersburg and the eventual surrender of General Lee.

The maintenance staff is responsible for management of the twenty- acre grounds and structures including the Manor, Naldara and Bonaccord. In the summer months, much of the time is spent mowing lawns, picking up trash and performing general maintenance tasks. In the off-season, with a reduced staff, most of the maintenance involves basic everyday upkeep with some time for special projects such as tree pruning, house carpentry and painting.

Projected personnel to administer the proposed additional facility would include at least one additional permanent full-time interpreter to oversee the waterfront operation and one more full-time maintenance person to help in the management of the increased grounds.

COST ESTIMATES OF PREFERRED ALTERNATIVE

DEVELOPMENT COSTS:

WATERFRONT DEVELOPMENT

FACILITIES

Contact Shelter	\$408,700
Comfort Station	156,000
Utilities	312,000
Wharf	432,900
Parking Area (30 paved/30 overflow spaces)	79,500

LANDSCAPE

Land Reclamation, Topsoil, Sod	128,400
Walkways	60,800
Plantings	19,000
Bollards, Fencing	9,400

SITE FURNISHINGS

Benches	13,200
Drinking Fountain	4,200
Flagpoles	18,720
Picnic Sites	6,240
Signage	9,300
Trash Receptacles	3,750

SHORELINE EROSION CONTROL/BULKHEAD

(cost estimates provided by U.S. Army Corps of Engineers)	1,860,000
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TOTAL	3,522,110
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BONACCORD TRACT

Restore Exterior of House	175,000
Restore Garage and Landscape Restoration	49,000
TOTAL	\$224,000
TOTAL DEVELOPMENT COSTS	\$3,746,110

NOTE: These costs are determined by the National Park Service as Class C estimates based upon conceptual plans and will be refined as the planning process proceeds.

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PROJECTED ADDITIONAL YEARLY OPERATING COSTS (After Plan Implementation)

¹ Operations	43,750
² Maintenance	98,400
TOTAL YEARLY COSTS	\$142,150

¹ Operating costs for administration, interpretation and protection are based on 80 percent personnel cost and 20 percent equipment and materials.

² Maintenance costs are based on estimated maintenance facility lease costs and on 50 percent personnel cost and 50 percent equipment, material and energy costs.

APPENDICES

ENVIRONMENTAL ASSESSMENT

- Environmental and Cultural Compliance
- Consideration of Concept Alternatives
- Comparison of Alternatives
- Finding of No Significant Impacts
- Interpretive Prospectus

LIST OF PARTICIPANTS

ENVIRONMENTAL ASSESSMENT

ENVIRONMENTAL AND CULTURAL COMPLIANCE

The City Point Unit of Petersburg, Development Concept Plan Amendment is subject to compliance requirements under both the National Environmental Policy Act of 1969 (NEPA) and Section 106 of the National Historic Preservation Act of 1966, as amended. This Section and regulations promulgated by the Advisory Council on Historic Preservation (36 CFR Part 800) require that the National Park Service seek to avoid or to mitigate any possible adverse impacts on cultural resources within the park or listed on the National Register of Historic Places. To date, the Advisory Council and the State Historic Preservation Officer have been consulted and informed of the concept alternatives for the City Point Unit. The NEPA Act of 1969 and the regulations and procedures issued by the Council on Environmental Quality (40 CFR Parts 1500-1508) direct the federal government to consider a broad range of alternatives when developing a proposal for federal action. The National Park Service has prepared a concept alternatives report for public review. Agency and public

comments have been incorporated into this Draft Development Concept Plan/Environmental Assessment. This information is provided to help public officials and members of the community to review and comment on the Plan.

SECTION 106 COMPLIANCE

The City Point Development Concept Plan Amendment is subject to Section 106 review under the terms of the 1990 Programmatic Agreement among the National Park Service, the Advisory Council on Historic Preservation, and the National Conference of State Historic Preservation Officers.

Under the terms of the 1990 Programmatic Agreement, "the Regional Director, in consultation with the SHPO, will make a determination about which undertakings are programmatic exclusions under C.1, and for all other undertakings, whether there is sufficient information about resources and potential effects of those resources to seek review and comment under 36 CFR Part 800.4-6 during the plan review process."

In January of 92, a list of undertakings that the National Park Service determined to be covered by the programmatic exclusions was presented to the State Historic Preservation Officer (SHPO) for review. Also presented was a list of undertakings determined by the National Park Service to require additional Section 106 consultation. On March 4, 1992, the Virginia State Historic Preservation Officer concurred in those determinations. The SHPO did, however, request an "opportunity to participate in the selection of a use for Bonaccord." Printed on page 26 is a photocopy of the correspondence between the National Park Service and the Virginia State Historic Preservation Officer on the City Point DCP Amendment. Printed on page 27 is a photocopy of the correspondence between the National Park Service and Executive Director of the Advisory Council on Historic Preservation relating to the City Point DCP Amendment.

The following agreements were reached:

Section I

Section I includes actions covered by programmatic exclusions. (These actions will require internal National Park Service Section 106 Compliance, i.e., Triple X Forms).

Bonaccord:

- 1 - Preservation maintenance of Bonaccord exterior.
- 2 - Leasing of Bonaccord to accommodate low level activity such as Bed & Breakfast, professional offices or heritage center, consistent with NPS-38, and Stipulation C.1(a) and (i). Virginia SHPO, however, to be afforded an "opportunity to participate in the selection of a use for Bonaccord."
- 3 - Preservation maintenance of Bonaccord interior.
- 4 - Stabilization/preservation maintenance of Bonaccord garage.

James River Waterfront Parcel:

- 1 - Removal of modern chain link fence at northern edge of waterfront.
- 2 - Burial of telephone and power lines along Pecan and Water Streets within previously disturbed road shoulders.
- 3 - Repair/replacement of displaced and dislodged sections of sidewalk along Pecan Avenue connecting waterfront parking with City Point Historic District.
- 4 - Erection of interpretive signs, wayside exhibits, outdoor exhibits.
- 5 - Erection of fencing within previously disturbed areas.

Section II

These actions require additional consultation with SHPO.

Bonaccord:

- 1 - Relocation of existing makeshift asphalt/gravel parking area.

James River:

- 1 - Development of parking space to accommodate sixty cars at east end of Pecan Avenue on the south side of the street.
- 2 - Development of three parallel parking spaces with views of the river along Water Street at south end of the waterfront.
- 3 - Construction of wooden boardwalks, wharves, docks, visitor shelter, boat loading facility, contact shelter, comfort stations.
- 4 - Construction of off-site maintenance facility. (The details of this proposed facility are still being discussed, but new construction within boundary of City Point Historic District is subject to further consultation.)
- 5 - Construction/relocation of site utilities if ground disturbance within previously undisturbed areas is necessary.
- 6 - Landscape development including benches, fountains, flagpoles, picnic sites, plantings, walkways.



United States Department of the Interior

NATIONAL PARK SERVICE
Mid-Atlantic Region
143 South Third Street
Philadelphia, PA 19106



IN REPLY REFER TO:
D18(MAR-CRM)

MAY 08 1992

Robert Bush
Advisory Council on Historic Preservation
Executive Director
Old Post Office Building
1100 Pennsylvania Avenue, NW #809
Washington, DC 20004


Dear Dr. Bush:

As you know, the National Park Service is currently developing an amendment to the Development Concept Plan for the City Point Unit of the Petersburg National Battlefield. Because the eventual implementation of the plan will have an effect on structures presently listed on the National Register of Historic Places, this plan has been submitted for review to the Virginia State Historic Preservation Officer (SHPO) under Stipulation E of the 1990 Programmatic Agreement among the National Park Service, the Advisory Council on Historic Preservation, and the National Conference of State Historic Preservation Officers.

Under Stipulation E.4 of the 1990 Programmatic Agreement, the National Park Service, in consultation with the SHPO, is required to "make a determination about which undertakings are programmatic exclusions under C.1, and for all other undertakings, where there is sufficient information about resources and potential effects on those resources to seek review and comment under 36 CFR Part 800.4-6 during the plan review process." Accordingly, in January 1992, the National Park Service presented a list of proposed undertakings at the City Point Unit, along with determinations about which were considered programmatic exclusions and which required further review under 36 CFR Part 800.4-6. The agreement reached between the National Park Service and the Virginia SHPO is enclosed for your information.

Thank you for your participation in the planning process for the Development Concept Plan for the City Point Unit. When the final draft of the plan becomes available, a copy will be forwarded to your office. Should you have any Section 106 comments or concerns, please address them to this office, Attention: Diann Jacox. Ms. Jacox may be reached at (215) 597-6524.

Sincerely,



Charles P. Clapper, Jr.
Acting Regional Director

Enclosures

cc:
Superintendent, Petersburg NBP
Elizabeth Hoge, Virginia Department of Historic Resources



COMMONWEALTH of VIRGINIA

Hugh C. Miller, Director

Department of Historic Resources

221 Governor Street
Richmond, Virginia 23219

TDD (804) 786-1934
Telephone (804) 786-3143
FAX (804) 225-4261

March 4, 1992

Ms. Lorraine Mintzmyer
National Park Service
Mid-Atlantic Region
143 South Third Street
Philadelphia, VA 19106

Attention: Ms. Diann Jacox

Re: Draft Amendment to the Development Concept Plan (DCP) for City
Point, City of Hopewell; VDHR File No. 92-0263-F

Dear Ms. Mintzmyer:

Thank you for submitting the above-referenced Amendment to the City Point DCP. We are pleased to learn of the acquisition of Bonaccord and the additional waterfront property for the City Point Unit and hope that our comments provide a positive contribution to the development of a final DCP.

We have no objections to any of the alternatives presented in the document and we support your selection of a preferred alternative. Should the preferred alternative be implemented, we concur with your assessment of programmatic exclusions. However, we would like the opportunity to participate in the selection of a use for Bonaccord. We also concur with your selection of those actions that will require additional consultation. We look forward to working with your office and the park staff as plans are developed.

If you have any questions concerning our comments, please contact Antony Opperman or Elizabeth Hoge of our staff. We appreciate the opportunity to comment on the draft DCP pursuant to the 1990 Programmatic Agreement.

Sincerely,

H. Bryan Mitchell
Deputy State Historic Preservation Officer

cc: Frank J. Deckert, Petersburg National Battlefield

CONSIDERATION OF CONCEPT ALTERNATIVES

ALTERNATIVE A

Under this alternative, the current park operation, facilities, and coordination with the community would be maintained. Development of new facilities would be limited to addressing major park issues and maintaining park safety standards. Interpretation would be limited to visitor services at Appomattox Manor and self-guided tours throughout the site.

Interpretive Opportunities

Using existing facilities and wayside exhibits, interpret General Grant's headquarters for logistics and supply at City Point during the Civil War, 1864-1865. A site bulletin would guide visitors from the bluff area to the waterfront where interpretive panels would explain Grant's supply operations at City Point.

Visitor Use and Development

Park Facilities and Visitor Use: Appomattox Manor will serve as the primary visitor contact center. Visitor facilities and restrooms are provided at this location. Visitors will follow a self-guided interpretive path linking the bluff area with the waterfront. Wayside exhibits would lead the visitor along the waterfront interpreting the Union Army's supply base of operations.

The waterfront landscape would remain the same; no new facilities would be developed.

Bonaccord would be stabilized as funds become available.

An existing structure for the maintenance operation will be sought for lease within the city limits of Hopewell.

Recommended Landscape Actions: The grounds will remain virtually unchanged with little or no new plantings along the waterfront. All fences, walks and utilities will remain.

Access and Circulation: There will be no new roads constructed; parking along the waterfront will be restricted to a designated area.

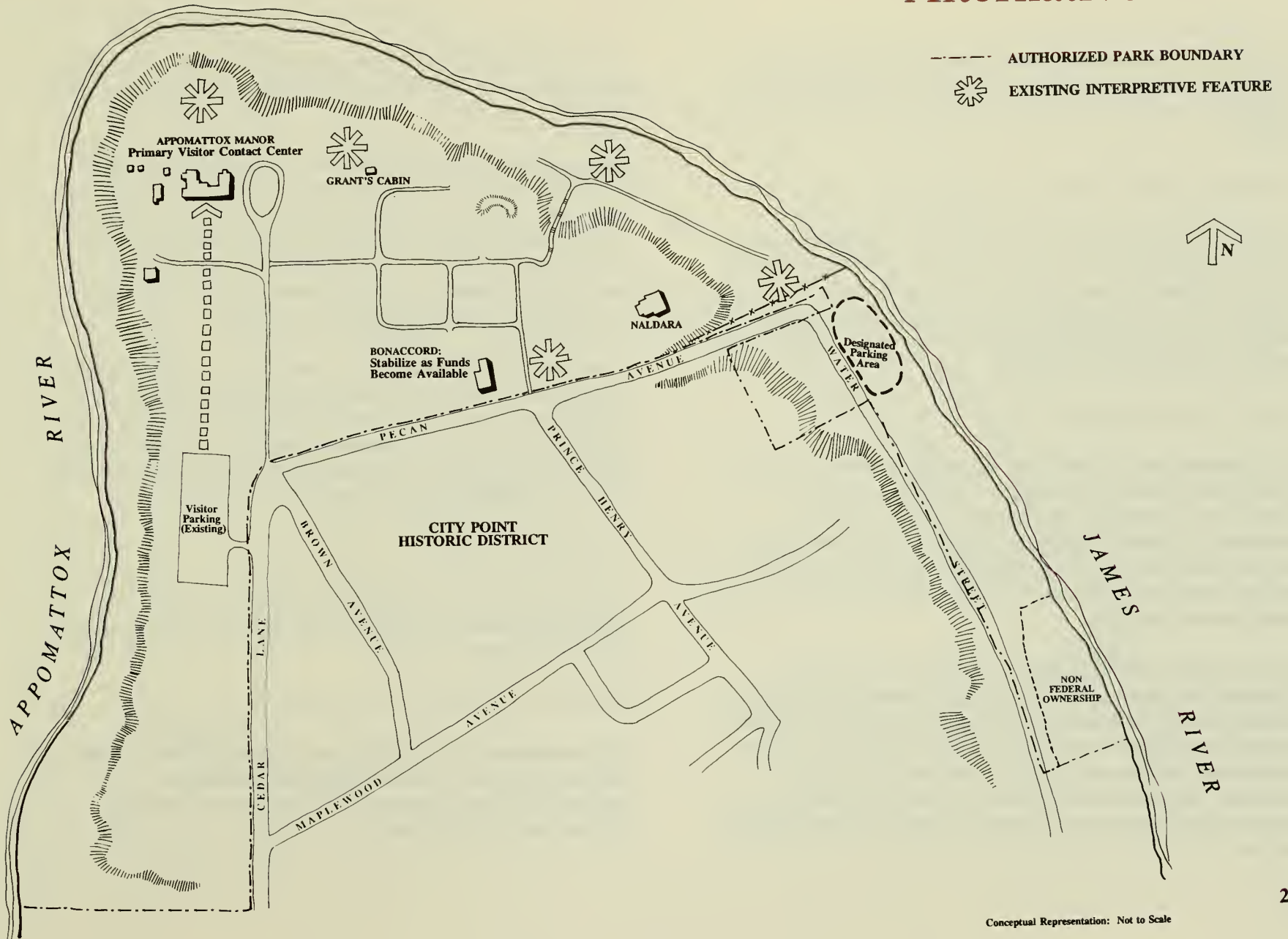
Management Zoning

It is proposed that the park remain within the Cultural Zone. A Park Development Zone will be added to accommodate parking at the waterfront.

Management Staffing and Operations

Park management and operations would remain under Petersburg National Battlefield. No additional staffing would be required under this alternative.

Alternative A



This alternative is a limited development proposal that would maintain and modify existing park programs as funding becomes available to improve interpretation, development and other park activities.

Interpretive Opportunities

Using existing facilities and wayside exhibits, interpret General Grant's headquarters at City Point during the Civil War, 1864-1865. Additional wayside exhibits similar in format to the existing ones would be placed along the waterfront to further interpret supply operations at City Point including: railroad, dock workers and shipping.

Visitor Use and Development

Park Facilities and Visitor Use: Appomattox Manor will serve as the primary visitor contact center. Visitor facilities and restrooms are provided at this location. Visitors will be encouraged to follow a self-guided interpretive path linking the bluff area with the waterfront. Various wayside exhibits would lead the visitor along the waterfront interpreting the Union Army's supply base of operations.

Bonaccord will be maintained and preserved in its present appearance with the emphasis placed on protecting the surviving original fabric of the buildings. All conditions that threaten the structural well being of the building will be corrected. No other alterations to the exterior integrity of this structure will be permitted. The interior will be stabilized and "mothballed" until such time funding becomes available for appropriate development and use.

A new maintenance facility with access onto Cedar Lane will be constructed on the west side of Cedar Lane at the southern end of the park.

Recommended Landscape Actions: A linear park would be established along the waterfront with a waterfront walk, seating areas, and appropriate native plantings. A riprap structure would be continued along the river edge to prevent shoreline erosion. The present asphalt/gravel parking area will be planted and parking area relocated. The maintenance facility along Cedar Lane would be screened with native vegetation.

Access and Circulation: The present access to the James River along Pecan Avenue and Water Street will remain. A well-lit parking area would be developed at the waterfront on the west side of Water Street. An unobtrusive barrier along Water Street, from the parking area to the park boundary would be constructed to keep cars off of the waterfront.

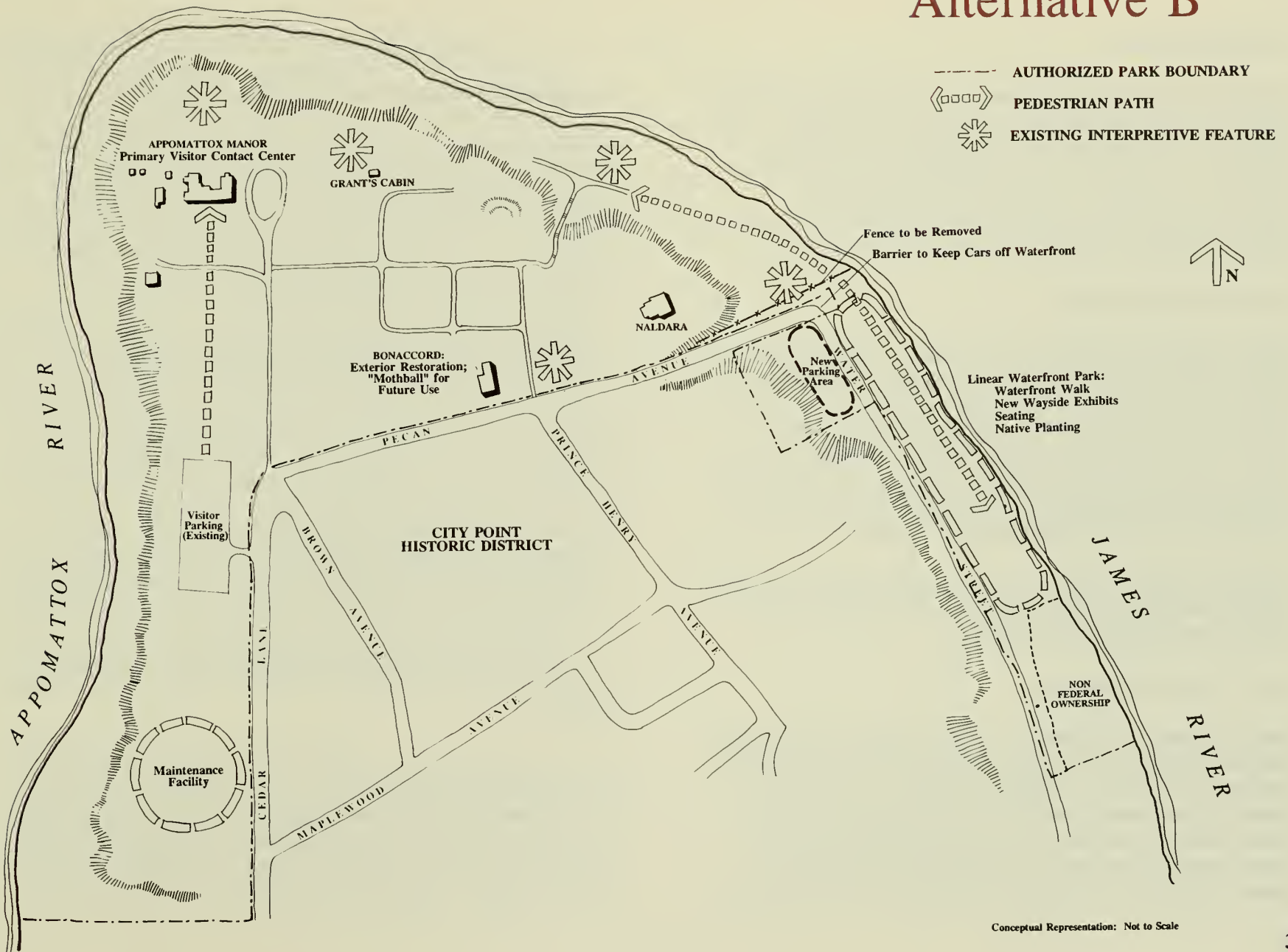
Management Zoning

It is proposed that the park remain within the Cultural Zone. A Park Development Zone will be added to accommodate parking and new maintenance facility.

Management Staffing and Operations

Park management and operations would remain under Petersburg National Battlefield. Minimal additional staffing for interpretation, maintenance and law enforcement would be required under this alternative.

Alternative B



Conceptual Representation: Not to Scale

ALTERNATIVE C

The proposed level of development in this alternative represents a blend of preservation, adaptive use and new development. It is responsive to the concerns of local residents for positive community development as well as fulfilling the management objectives of the park. The focus of this alternative is to strengthen the park's connection with the waterfront and town as a means to enhance the visitor's understanding of City Point.

Interpretive Opportunities

Interpretation would be provided at several locations through a variety of facilities and interpretive programs. The park and the city will work together on developing a walking tour brochure. The guide could interpretively connect Appomattox Manor, Grant's Cabin, the waterfront and Historic City Point, to tell the story of the Union Army establishing a huge supply base at the confluence of the Appomattox and James Rivers, transforming City Point into one of the world's busiest seaports.

Additional wayside exhibits would be placed along the waterfront to further interpret supply operations at City Point including: railroad, dock workers and shipping.

Visitor Use and Development

Park Facilities and Visitor Use: Upon arrival, an information kiosk at the Manor parking area will orientate visitors to the park and Historic City Point. Appomattox Manor will serve as the primary visitor contact center. Visitor services and facilities would include an information desk, a three-dimensional map, an audio-visual program, space for special lectures and school groups, staging area for special tours related to various themes

throughout the park and town, and public restrooms.

A wooden boardwalk would be constructed along the waterfront to portray the many wharves that were constructed to handle the daily flow of supplies from ships from the North and the City Point Railroad linking the depot with the Union lines at Petersburg. A boat docking facility, an exhibit shelter recalling Civil War structures, and restrooms would be constructed to accommodate boat tours visiting City Point.

Temporary structures (recalling Sutlers' tents) would house seasonal concessions at the north end of the waterfront parcel.

Bonaccord will be maintained and preserved in its present appearance with the emphasis placed on protecting the surviving original fabric of the buildings. All conditions that threaten the structural well being of the building will be corrected. No other alterations to the exterior integrity of this structure will be permitted. The National Park Service will seek an historic lease or special use permit for Bonaccord that would accommodate low activity uses such as a Bed and Breakfast or professional offices.

A new maintenance facility with access onto Cedar Lane will be constructed on the west side of Cedar Lane at the southern end of the park.

Recommended Landscape Actions: The fence that now exists at the northern edge of the waterfront parcel would be removed to unify the waterfront area. An appropriate landscape treatment for the waterfront might include: sitting areas, picnic area and pedestrian pathways representative of former Civil War wharves and/or rail lines. A steel sheet pile bulkhead will be built along

approximately 590 LF of the river edge and adapted to accommodate backshore construction of the wharf. The present asphalt/gravel parking area will be relocated and Water Street closed. The industrial development south of the waterfront and the maintenance facility along Cedar Lane would be screened with native vegetation. The telephone and power lines along Pecan and Water Streets would be buried. The sidewalk along Pecan Avenue connecting the waterfront parking area with City Point Historic District will be repaired/replaced.

Access and Circulation: A well-lit parking area and turn-around would be developed at the east end of Pecan Avenue on the south side of the street. The National Park Service will work with the City of Hopewell to close off Water Street at the park boundary. Suggested walking tours will provide connections to the park and City Point Historic District.

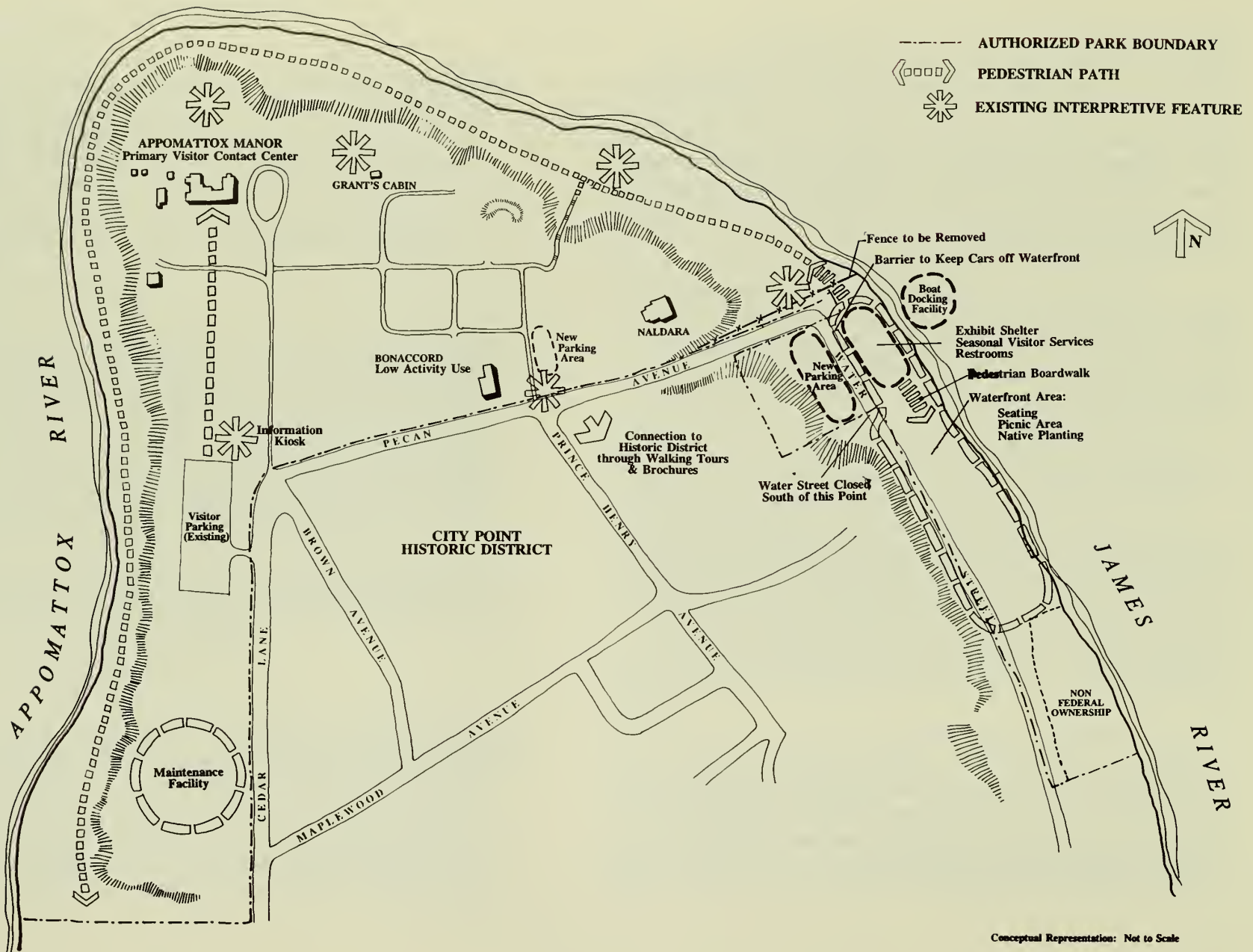
Management Zoning

It is proposed that most of the park remain within the Cultural Zone. Bonaccord would be zoned under Adaptive Use subzone to accommodate use such as a Bed and Breakfast or professional offices. A Park Development Zone will include a boat docking facility, maintenance facility, picnic area and public restrooms. The parking area will be designated as an Access/Circulation subzone.

Management Staffing and Operations

Park management and operations would remain under the administration of Petersburg National Battlefield. Additional staffing for interpretation, maintenance and law enforcement would be required under this alternative.

Alternative C



Conceptual Representation: Not to Scale

COMPARISON OF ALTERNATIVES

	PREFERRED PROPOSAL	ALTERNATIVE A	ALTERNATIVE B	ALTERNATIVE C
CONCEPTS:	This proposal is aimed at strengthening the park's connection with the waterfront and the historic district of City Point and enhancing the visitor's understanding of the historic character of both. This proposal was derived from public input on the draft concept alternatives presented in a newsletter and at public meetings. It is similar to Alternative C although this proposal allows for vehicular access along the waterfront, maintenance facility off-site and provides additional interpretive exhibits.	Under this alternative, the current park operation, facilities and coordination with the community would be maintained. Development of new facilities would address major park issues and maintain park safety standards. Interpretation would be limited to visitor services at Appomattox Manor and self-guided tours.	This alternative would maintain and modify existing park programs and facilities as funding becomes available. New development would be limited to the development of a new maintenance building, restoring the exterior of Bonaccord, and landscape actions along the waterfront.	The proposed level of development in this alternative represents a blend preservation, adaptive use and new development. Major development actions would occur at the waterfront to enhance interpretation, provide visitor facilities, and accommodate boat docking. Water Street would be closed to vehicles and parking relocated. Park and community connections would be strengthened. A new maintenance facility developed along Cedar Lane, and restoration of the exterior of Bonaccord are proposed.
VISITOR USE EFFECTS:	Opportunities for interpretation and visitor understanding of historic events would be greatly enhanced.	No effect	Additional wayside exhibits and landscape actions would provide a more pleasant atmosphere for visitors and minimally increase the visitor's understanding of the historic events.	Opportunities for interpretation and visitor understanding of historic events would be greatly enhanced.
REGIONAL RECREATION OPPORTUNITIES:	Regional residents would be able to enjoy opportunities for passive recreation (i.e., walking, picnicking, boat tours, river viewing, etc.). Suggests opportunity for river trail connection along the Appomattox River.	Provides open space for viewing river.	Regional residents would be able to enjoy opportunities for passive recreation (i.e., walking, picnicking, river viewing, etc.).	Regional residents would be able to enjoy opportunities for passive recreation (i.e., walking, picnicking, boat tours, river viewing, etc.). Suggests opportunity for river trail connection along the Appomattox River.

	PREFERRED PROPOSAL	ALTERNATIVE A	ALTERNATIVE B	ALTERNATIVE C
EFFECTS ON ADJACENT LANDOWNERS:	<p>Can assume there will be increased traffic along roads leading to the river.</p> <p>Lighting, defined parking area's, and increased visitation should deter inappropriate uses along the waterfront.</p> <p>Waterfront development traditionally increases the value and marketability of adjacent properties.</p> <p>Provide an aesthetically pleasing environment to learn and recreate.</p>	<p>The present condition of the waterfront has few aesthetic qualities and impacts the desire by the community to maintain a positive environment to live.</p> <p>Lack of facilities and security allows for inappropriate uses to take place.</p>	<p>Lighting, defined parking areas, and increased visitation should deter inappropriate uses along the waterfront.</p> <p>Minimal increase in traffic along roads leading to the waterfront.</p> <p>Provide an aesthetically pleasing environment to learn and recreate.</p>	<p>Can assume there will be increased traffic along roads leading to the river.</p> <p>Lighting, defined parking areas, and increased visitation should deter inappropriate uses along the waterfront.</p> <p>Waterfront development traditionally increases the value and marketability of adjacent properties.</p> <p>Provide an aesthetically pleasing environment to learn and recreate.</p>

	PREFERRED PROPOSAL	ALTERNATIVE A	ALTERNATIVE B	ALTERNATIVE C
IMPACTS ON: NATURAL RESOURCES	<p>Waterfront site is presently covered with fill debris and materials that have been dumped in recent years to prevent shoreline loss, a new bulkhead along the James River parcel will prevent further regression of the shoreline. Existing shoreline vegetation and earth will be impacted.</p> <p>Conversion from parking lot to landscaped open space and installation of drainage system will reduce soil erosion.</p> <p>New plantings will much improve the present condition by using a variety of indigenous plant materials.</p> <p>Some soil compaction would occur along the waterfront walk, picnic area and interpretive exhibit area.</p> <p>No known endangered or threatened species are known to inhabit the study area, nor would wildlife habitat be affected.</p>	<p>Existing conditions contribute to shoreline regression due to wave action from heavy commercial vessels and extreme northerly winds.</p>	<p>Installation of riprap structure along the James River parcel conforming to the natural slope would connect with the existing riprap along the point. This structure would prevent further regression of the shoreline.</p> <p>Conversion from parking lot to landscaped open space and installation of drainage system will reduce soil erosion.</p> <p>Some soil compaction would occur along the waterfront walk and interpretive exhibit area.</p> <p>The construction of a new maintenance area will cause surface disturbance-minimum loss of vegetation.</p> <p>No known endangered or threatened species are known to inhabit the study area, nor would wildlife habitat be affected.</p>	<p>Waterfront site is presently covered with fill debris and materials that have been dumped in recent years to prevent shoreline loss, a new bulkhead along the James River parcel will prevent further regression of the shoreline. Existing shoreline vegetation and earth will be impacted.</p> <p>Conversion from parking lot to landscaped open space and installation of drainage system will reduce soil erosion.</p> <p>Some soil compaction would occur along the waterfront walk and interpretive exhibit area.</p> <p>The construction of a new maintenance area will cause surface disturbance-minimum loss of vegetation.</p> <p>No known endangered or threatened species are known to inhabit the study area, nor would wildlife habitat be affected.</p>

	PREFERRED PROPOSAL	ALTERNATIVE A	ALTERNATIVE B	ALTERNATIVE C
HISTORIC STRUCTURES	The exterior restoration of Bonaccord will prevent deterioration and enhance the character of the structure and setting. Leasing Bonaccord for an adaptive use will provide a means for resource protection and defray maintenance costs.	Minimum preservation maintenance will stabilize structure.	The exterior restoration of Bonaccord will prevent deterioration and enhance the character of the structure and setting. Interior would be "mothballed" - furthering interior deterioration.	The exterior restoration of Bonaccord will prevent deterioration and enhance the character of the structure. Leasing Bonaccord for an adaptive use will provide a means for resource protection and defray maintenance costs.
LANDSCAPE	Landscape actions along the waterfront will enhance the aesthetics of the site, improve visitor understanding of Civil War events and provide passive recreation opportunities.	Existing landscape along the waterfront lacks continuity with the park and community. Visitor use is limited and some existing uses are detrimental to the park and the community.	New maintenance facility would have visual impact on residents living along Cedar Lane. Landscape actions along the waterfront would enhance the aesthetics of the site and provide passive recreation opportunities.	New maintenance facility would have a visual impact on residents living along Cedar Lane. Landscape actions along the waterfront will enhance the aesthetics of the site, improve visitor understanding of Civil War events and provide passive recreation opportunities.
ECONOMIC IMPACTS:	Waterfront development traditionally increases the value and marketability of adjacent properties. Boat tours, increased visitation and better coordination between the park, city and other attractions could contribute to increased visitor expenditures.	No effect.	Waterfront development traditionally increases the value and marketability of adjacent properties. As the park expands visitor services and programs, the amount of visitors will gradually increase—possibly spurring economic benefits to the region.	Waterfront development traditionally increases the value and marketability of adjacent properties. Boat tours, increased visitation and better coordination between the park, city and other attractions could contribute to increased visitor expenditures.
DEVELOPMENT COSTS:	\$3,746,110	\$300,000	\$1,727,655	\$ 4,415,000

FINDING OF NO SIGNIFICANT IMPACTS

The final recommended development actions as described in the final Development Concept Plan Amendment for the City Point Unit of Petersburg National Battlefield do not constitute a major federal action that will significantly affect the quality of the human environment, as defined in Section 102(2)(C) of the National Environmental Policy Act of 1969 (P.L. 91-190, 83 Stat. 853). This finding is based upon the environmental assessment prepared during this planning effort. Therefore, the National Park Service will not prepare an environmental impact statement for the Development Concept Plan Amendment.



Regional Director
National Park Service, Mid-Atlantic Region

3/17/92

LONG RANGE INTERPRETIVE PLAN FOR CITY POINT

INTRODUCTION

The current amendment to the Development Concept Plan for the City Point unit of Petersburg National Battlefield provides an opportunity to provide an overall interpretive plan for City Point. An effective start was made in the 1980 Interim Interpretive Plan and carried further in the interpretive recommendations in the 1986 Development Concept Plan. However, neither of these documents dealt with the James River waterfront property recently added to the park.

It is now time to look at how these previous plans have been implemented, incorporate the James River waterfront, and point the way to the future *through* a "Long Range Interpretive Plan". Although this plan appears as an appendix to the amendment to the new DCP, it is the primary interpretive planning document for the site. It is intended to provide guidance for the site's interpretive program for the next ten years.

This plan does not repeat basic information concerning the site contained in the new Development Concept Plan. Instead, it focusses on interpretation at the site. It reviews the status of interpretation as it has evolved in the last ten years at Appomattox Manor. It then makes recommendations for how interpretation at Appomattox Manor and the new property at the James River waterfront can be blended into a cohesive whole.

I. The Role of Interpretation

The principal role of interpretation at City Point is to create an understanding and appreciation among visitors of the historic themes represented by the site. Primarily these themes deal with the command of the Union Army and the support functions of the Army of the Potomac during the latter part of the Civil War. A secondary theme deals with human use of the site over a period of close to 8,000 years.

As at all parks, interpretation has a visitor orientation function; however, since City Point is not well-known, pre-visit orientation is probably more of a responsibility here than at other sites. In particular, the site needs to work with the City of Hopewell and the other two park units to make itself known to potential visitors. In effect, it must find ways to promote itself.

Interpretation should present the park in its larger historic context. It should cooperate with local groups and others seeking to interpret the story of City Point in the Civil War. At the same time, it must make on-site interpretation its primary mission.

Interpretation also needs to address use of the site by local residents for recreational purposes. This use provides opportunities for interpretation to the local community of the important values represented by the site. Building appreciation for

the significance of the site can help prevent vandalism and instill "pride in ownership" among local residents. Also, as the "voice of the park," interpretation has responsibility for helping to insure that recreational use of the site is safe and does not detract from the historical atmosphere of the site.

Interpretation should also offer limited research services. Historic sites accrue specific site information and their staffs acquire site expertise that is often unique. Those with detailed informational needs should be served to the extent that providing the requested information does not adversely affect routine interpretive operations.

II. Summary of Current and Past Program

The current interpretive program is based on the 1986 Development Concept Plan. That plan is still in the process of being implemented. Visitors currently enter the house through an entrance on the east side of the house; eventually, they will enter through the south entrance. In the hallway they will be greeted by a uniformed interpreter who will provide an introduction to the site. (Currently that introduction occurs in the east hall at the large detailed model of City Point during the Civil War. It includes a 10-11 minute talk concerning the site's Civil War history and the Eppes' family residence on the site.)

According to the plan, visitors will next enter the dining room to the right, which will be adaptively used as an exhibit area. The current model of City Point will be relocated to this area where it will continue to be the focus for physical orientation to City Point during the Civil War. Also in this room, an a/v program will provide a thematic overview of the Civil War story. Seating will be available for 12-15 people. From the dining room, visitors can proceed into the hallway to the east. In this area, they will have easy viewing access to two refurnished rooms which reflect the Eppes occupancy in the nineteenth century.

Visitors will exit the building through the same doorway which they used to enter. Located in the hall near the entrance will be a small sales area, providing an opportunity for visitors to extend their visit through reading at home and learn more about the site and the stories it represents.

From the house, visitors now follow a tour route which first takes them to a view point north of the house which helps provide an understanding of the prominent geographic location of the site. From there they proceed to Grant's Cabin and then past a Confederate earthwork and down the bluff to the waterfront. They return to the house area via Pecan Avenue. Along the way, wayside exhibits deal with: site orientation, Grant's Cabin, the waterfront, railroads, the Ordnance Wharf explosion, and the City Point Historic District.

(One element of the original plan that has not been implemented is the installation of exhibits dealing with archeology in the kitchen building. This was intended to be the first stop after visitors leave the house.)

Personal Services - Aside from the orientation talk, the staff provides impromptu grounds tours of the house and Cabin area if staff is available. If the group is interested in plantations, the talk is geared to their interest. In the summer, walking tours of the entire site are available on weekends. If a group with a special interest contacts the park ahead of their visit, a special slide program concerning the history of the site may be arranged.

Special Events - The park cooperates with the city in its River Festival of Lights at Christmas time. This event features illumination of boats on the river. The manor house is decorated on the exterior for this event, but is not open.

Also at Christmas time, the park schedules its own event which focusses on a particular time period (1860, 1864, etc.) and

features a 15-minute skit, an outdoor fire to heat cider, and a brass ensemble.

In March, on the weekend closest to when President Lincoln arrived for his first visit (3/24), the park schedules programs related to Lincoln.

In the summer, a living history program is offered at night, using seasonal staff from the main park unit.

Education - Most school programs are presented on-site. Although some off-site programs have been done in the past, they have dwindled to a very few because of lack of staff. Programs at the site are fairly unstructured and are customized by the interpreter to fit the age group. Some games have been developed for teachers to use as a follow-up to the visit.

III. Themes & Objectives

Themes:

Primary - The administration and supply operation at City Point was crucial to the victory of the Union Army in the Virginia Theater during the Civil War.

The principal reason for the inclusion of Appomattox Manor in the National Park System is its association with the Civil War as General Grant's command post and as the largest supply base of the war. Here, visitors can see the humble cabin from which Grant commanded the great Federal armies throughout both the East and the West. Here, they should be able to learn about Grant's strategic view of the war and his relationship with his President. Here, too, they should find out about the practical aspects of implementing his strategy viewed through the Union command system.

Secondary - The peculiar location of City Point has made it a focal point of human activity for some 8,000 years .

This theme provides a context for understanding the primary theme, but also has importance in its own right. The archeological record reveals a long occupation of the site by Native Americans. Both the archeological and historical records document the role of the site in the Virginia plantation economy and the continued ownership of the land by one family for 344 years. For most of that time, whites and blacks occupied the site as master and slave respectively. The occupation of the site by the Army of the Potomac was but a brief interlude in its history, but one which had profound consequences for all residents. Visitors should gain an appreciation for the land and for those who hunted it, owned it, and worked it throughout the last eighty centuries.

Objectives:

Orientation

As a result of park orientation efforts, visitors will:

- become aware of City Point as a nationally significant historic site, and
- be able to find their way to and around the site.

Thematic

As a result of visiting City Point, visitors will be able to:

- relate military activities at City Point to the Petersburg campaign and to the overall Civil War story, particularly the roles of command and supply;

- generally describe the command structure of the Union army under General Ulysses S. Grant and how communications functioned;

- explain the types and general quantities of supplies needed to keep an army functioning;

- name the types of transportation available at the time and their advantages and disadvantages; and

- generally describe the human activities at the site over eighty centuries and some of the reasons for continual use of the site.

IV. Visitor/User Profile

As the Development Concept Plan notes, visitation to the site is relatively low. 25,000 people came to the site in 1990 and only 10,000 visited the house and grounds. The rest used the site for recreational purposes. Lacking survey data, the assumption is that most of the visitors to the house and grounds are highly interested in the Civil War and motivated to seek out the site. The recreation users are local residents who are following traditional patterns of use.

School groups tend to be from the local area, with ages ranging from third to seventh grade for most groups.

V. The Plan

A special challenge for interpretation at City Point is the current appearance of the landscape. The Appomattox Manor area on the top of the bluff generally reflects the last occupation by the Eppes family in the twentieth century. This means that interpretation must help visitors understand the physical changes that have taken

place on the site so that they can better envision the historic scene of 1864-65.

The James River tract currently has an industrial character with no amenities. It will be developed in what can best be described as a memorial park type of setting. It is not practical to replace the warehouses docks, sutlers' tents, locomotives, and ships that made up the historic scene. Interpretation must recreate and animate them in visitors' imaginations.

One advantage that the site enjoys is a wealth of documentary and "photographic" evidence. Visual images in particular should be fully used to tell the City Point story.

Another challenge in creating understanding is peopling the landscape. Although all good historical interpretation relates events through emphasis on original accounts, these sources must play an important role at City Point because much of the story does not immediately capture the imagination. It is important to use first-hand accounts as much as possible in order to bring the story to life.

Appomattox Manor will continue to provide an interpretive overview of the entire City Point complex, including the waterfront and the areas outside the park boundary, such as the hospital area. In addition, the house complex and the surrounding area will be used to interpret the story of the command of the Union armies by Ulysses S. Grant. The secondary theme of human occupancy will also be explored on the bluff area. The waterfront site will focus on the supply and transportation story.

Tour Route - The tour route will be developed as it is presently planned. The kitchen building will be added to the tour route after exhibits are installed. The park brochure should include the tour route on the map.

The James River waterfront will include an open-sided exhibit shelter reminiscent of a section of the Quartermaster warehouse along with a section of track to recall the importance of the railroad. A replica engine or boxcar might be acquired to help visitors imagine the many such pieces of equipment which were required to move supplies to the front.

The exhibit shelter will contain a map of the waterfront area as it was during the historic period. Also inside the exhibit shelter will be representative crates and boxes marked as they would have been during the war to convey an idea of the various types of supplies that were required. These items might be arranged so as to be used as seats by visitors and as a setting for school programs.

The exhibit shelter will also contain an interactive map with lights at different locations to show visitors the origins of different types of supplies, where the supplies were gathered for shipping to City Point, and where they went *from* City Point. This will illustrate the complexity of the supply system.

Another exhibit panel will graphically illustrate the number of barrels, crates, etc., of supplies which were consumed in a given time period to convey the scope of the supply operation. One way to do this would be to use back-lit icons representing different types of supplies on the exhibit panels. First, supplies needed for one soldier for one day would be shown and then more supplies for more soldiers would be added until a one-month supply for the entire army is illuminated.

The exhibit shelter will also include an audio component. Sounds representing different activities at the waterfront could be added one by one until they build to a crescendo of human, animal, *and* machine activity.

The work of supplying the army was, of course, done by people. To commemorate their efforts and illustrate the human element of

the story, a sculpture might be commissioned which has a human figure as its focal point. The figure might be rolling a barrel or moving a box. Because of the important role of African-Americans at City Point and throughout the war in supply operations, it would be most appropriate for this sculpture to depict this figure as one of the newly-freed slaves. This exhibit might be funded through cooperation between the Quartermaster Corps at Fort Lee and the local community.

The proposed dock will recall the essential water link between the Army of the Potomac and its sources of supply. Wayside exhibits in this area will deal with the various types of ships and how they were used. In particular, one exhibit should deal with President Lincoln's ship, "River Queen," and the President's conferences with peace commissioners and his generals.

Other features will help visitors understand the types of supplies that were needed and help them visualize the scale of the operation. A piece of ordnance, such as a small mortar, and a few reproduction mortar shells might help introduce the Ordnance Wharf story. (Precautions will have to be taken to insure that these items are not movable.) They might also help illustrate the enormity of the effort required to supply the the ordnance needs of the army. One wayside might be devoted to how heavy loads were moved.

Personal Services - At the present time, staff is only available at the house. Since visitation is not heavy, this allows for an intimate sort of interpretation. Visitors not only receive an excellent orientation to the site which is tailored to their interests, but they can also have their questions answered. In addition to this service, guided tours of the entire site will be offered during periods of peak visitation.

Exhibits - As previously mentioned, the model will continue to provide a physical orientation to the historic scene. The dining room exhibit area should also include a few exhibit panels which

are designed to sensitively blend with the historic setting. These panels might focus on: Lincoln at City Point, Grant, the soldiers and laborers.

The hallway between the two refurbished rooms will include a few small exhibits dealing with the secondary theme of human occupancy of the site. Ideally, three panels would be developed; they would deal with: Indian use, the Eppes family, and African-American life.

Audio-visual Program - The video program currently being developed will provide a very good thematic orientation to the City Point Civil War story. No changes will be needed.

One danger that exists is that of conflict of use. While the audio-visual program is being presented to one group, other visitors may be looking at the map and other exhibits and disturb the a/v program users. This may be a small problem at first, but could grow with increased visitation. The park needs to consider what alternatives are available.

Exhibits in the kitchen building will display archeological evidence of human use of the site. These exhibits should be constructed so as to not require staffing. Care must be taken to insure that a balanced view of human use is exhibited, not just that which is the most "artifact-rich." Reproductions of some of the items on display should be available for use with kids.

Wayside Exhibits - The current waysides are well designed and appropriate; however, a new plan should be completed which reviews these exhibits in the context of the entire site. In the parking lot area, thought should be given to adding a new exhibit which incorporates a map and space for temporary notices to be posted.

Current waysides at the waterfront area might be relocated or replaced in light of the additional property that has been added

since their installation. They might be moved closer to the sites they address or to better vantage points.

Wayside exhibit topics for the waterfront have already been mentioned. One additional topic that should be considered at the waterfront is the story of African-American participation in the City Point operation. This is a little known story and one that helps make the site more relevant to more people.

Special Events - Special events are an excellent way to gain recognition and local support for the site. The park is already making good use of a number of opportunities. These efforts should be expanded, especially in connection with dates associated with important events at City Point. A few ideas: the use of outside groups to perform drills (to illustrate the training function of the base), concerts of nineteenth-century music (to show how idle hours were whiled away), and expansion of the first-person mini-dramas to provide many different viewpoints of the war and the City Point operation.

Living History - Costumed interpretation is already a proven means of interpretation at Petersburg. It could be effectively used on weekends at the waterfront area to help visitors understand the human side of the supply operation. First-person interpretation is recommended as having the most impact, but it should only be used if it can be presented with integrity.

Education - The park has made a good start in this area and wants to do more. The new audio-visual program for the site might provide the core for a pre-visit program which could be sent to the schools. The park also needs to target its school effort to specific grades in which the curriculum matches the park themes. Off-site programs should be used to the extent that they are needed to spark interest in the site among local schools.

Publications - The present brochure provides a good overview of the site story. When the current supply is exhausted, it will be

reviewed for possible design improvements.

There is currently no sales publication available which deals specifically with the overall story of City Point. (One publication does deal with Abraham Lincoln at City Point.) The park should continue to seek out publications for a broad range of interests dealing with park themes. Consideration should be given to developing a brief (32-page) site-specific booklet.

Junior Ranger Program - A good part of the local use of the site is by kids. Efforts will be made to gain their support for the park by establishing a Junior Ranger program. Kids can volunteer to help in a variety of ways, including giving tours to their peers. This program should aim at giving kids a stake in the site and convincing them that there is something nationally significant right in their neighborhood.

Signage - The opening of Interstate 295 provides an excellent opportunity to make City Point better known. The park is working with the state highway department to have a sign installed which is similar to the one on I-95.

The local system of signs is a good attempt to help visitors find the site; however, it has two drawbacks. One is that the signs include the City Point unit as part of a plantation tour. This is somewhat misleading as to the site's primary significance. Also, the signs are not easily deciphered as to what they are.

The park will work to either develop its own set of white-on-brown park signs or work with the local community on a system of signs that are more recognizable and more closely identified with the site's primary theme.

River Trips - The DCP Amendment mentions opportunities for river trips between City Point and other Civil War sites. Although boat trips will not originate at City Point, passengers could be picked up and dropped off there. In addition,

arrangements might be made for an interpreter to provide a narrated river tour. This would help visitors appreciate the importance of rivers as both avenues and obstacles in the Virginia Theater of the Civil War.

The park should pursue these options with cooperating groups. An alternative may be to offer this service as fee interpretation with the proceeds being returned to the park.

VI. Base Interpretive Program

The base interpretive program will consist of the following:

Spring - Appomattox Manor - 8:30 AM - 4:30 PM

School Tours - 1-4 days a week, as requested

Summer - Appomattox Manor - 8:30 AM - 6:30 PM

Walking tours - daily, 1 each a day

Living History - weekends, 4 hours each day

Fall - Appomattox Manor - 8:30 AM - 4:30 PM

School Tours - 1-4 days a week

Winter - Appomattox Manor - 8:30 AM - 4:30 PM

VII. Staffing

In order to provide the base interpretive program and support services for the site, the following staffing is needed:

A. Permanent Interpretive Staff

1. GS-170-09 Historian
2. GS-025-07 Park Ranger (Interpreter)

B. Seasonal Interpretive Staff

1. Summer (full-time)
 - a. GS-025-04 Park Ranger (Interpreter)
 - b. GS-025-04 Park Ranger (Interpreter) - Living History
 - c. GS-025-04 Park Ranger (Interpreter) - for seven-days-a-week coverage and weekend overload
2. Spring/Fall/Winter
 - a. GS-025-04 Park Ranger (Interpreter) - full-time
 - b. GS-025-04 Park Ranger (Interpreter) - part-time

VIII. Research Needs

Special History Study - The participation of U.S. Colored Troops in the Petersburg Campaign.

Special History Study - Military communications methods used in the Petersburg Campaign, such as signal towers, telegraphs, couriers, river and bay steamers.

Special History Study - Sutler operations during the Petersburg Campaign.

Special History Study - Naval operations relating to the Petersburg Campaign such as the James River Squadron, the blockading fleet, transport of troops and materiel.

Special History Study - Supply operations at City Point, the sources of materiel, the means of transport, route taken.

Special History Study - Relationship of the Eppes family and African-Americans on the Eppes plantation before and after the Civil War.

IX. Media Cost Estimates

The following estimates were supplied by the Harper's Ferry Center for interpretive development at the waterfront area:

Interactive Map

Planning	(51)	\$30,000
Production	(52)	\$120,000

Static Map

.	(51)	\$3,000
.	(52)	\$10,000

Supplies Exhibit

.	(51)	\$6,000
.	(52)	\$20,000

Audio Component

.....	(61)	\$1,500
.....	(62)	\$7,000
Equipment	(63)	\$1,500

Wayside Exhibits (10) (Entire Site)

Planning	(54)	\$15,000
Production	(55)	\$45,000
.....	Total	\$259,000

LIST OF PARTICIPANTS

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The input and comments received from the community, government officials, interested groups and individuals and local historical groups have provided valuable information and insight throughout the planning process.



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