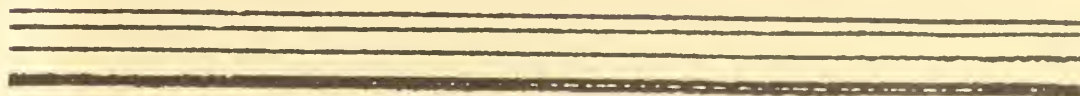
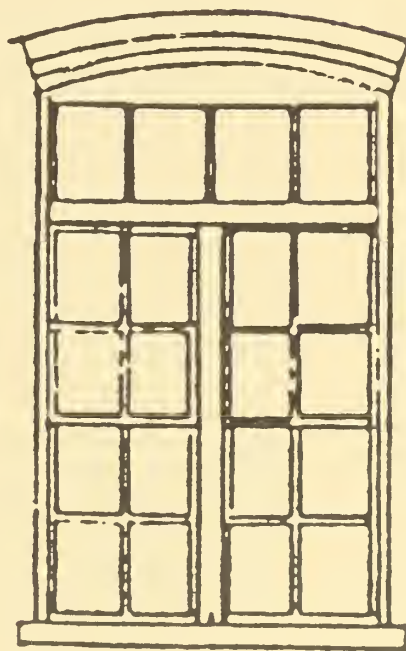
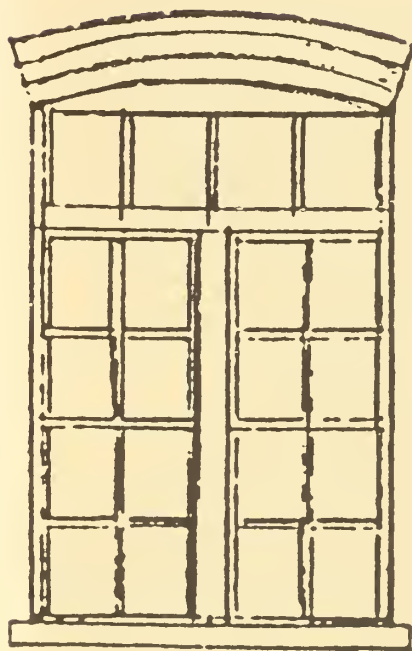
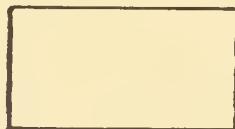





ST. JOSEPH HALL (THE POLISH CLUB)



Salem Maritime National Historic Site
Salem, Massachusetts



Historic Structure Report



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**SAINT JOSEPH HALL
(THE POLISH CLUB)
HISTORIC STRUCTURE REPORT**

**Salem Maritime National Historic Site
Salem, Massachusetts**

By

Marie L. Carden

Building Conservation Branch, Northeast Cultural Resources Center
Northeast Region, National Park Service
U.S. Department of the Interior
Lowell, Massachusetts

Written May 1989
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PREFACE AND ACKNOWLEDGEMENTS

This report was prepared by the North Atlantic Historic Preservation Center (NAHPC) for the Salem Maritime National Historic Site (NHS) as part of the Salem Project. The Preservation Center is part of the Division of Planning and Resource Preservation, North Atlantic Region (NAR), National Park Service.

The Administrative Data section of this report is based on the proposed rehabilitation for St. Joseph Hall, of St. Joseph's Polish Roman Catholic Society. The building is a new acquisition of the National Park Service, and so has had no documentation prior to this historic structure report.

The drawings included in this report are sketches made by the author for reference purposes only, since measured drawings are not yet available. Photographs included herein are by the author, unless otherwise indicated.

Paint, mortar, and wallpaper analyses and summaries are by the author and are included in the appendices. All other supporting documents are also included in the appendices.

For their contributions and assistance in the preparation of this report, I wish to thank the park staff of Salem Maritime National Historic Site, the members of the St. Joseph's Polish Roman Catholic Society, the Essex Institute, and various citizens of the city of Salem.

* * *

Editor's note:

Since this report was written, the North Atlantic Historic Preservation Center has become the Building Conservation Branch (BCB) of the Northeast Cultural Resources Center, located in Lowell, Mass. All references to the NAHPC in this report apply to the BCB. The North Atlantic Region of the National Park Service has become part of the Northeast Region, headquartered in Philadelphia. Finally, the Essex Institute has become part of the Peabody Essex Museum.

FOREWORD

*By David Kayser
Salem Maritime NHS
June 1998*

In the late 1980s, during the early stages of what was then called the Salem Project, Salem Maritime NHS began a concerted effort to better store and protect 750 shelf feet of Salem Customs records detailing 19th-century activities in the Port of Salem. The records were owned by the National Park Service, but housed for many years in a section of Salem's Essex Institute not suitable for archival material. A few years earlier, an Inspector General audit of the park's museum operations uncovered numerous deficiencies in the storage areas.

Salem Maritime NHS proposed to correct these deficiencies by acquiring St. Joseph Hall, better known as the Polish Club, to house both the museum collections and the Salem Customs records. This large structure, situated on the eastern edge of the park, was offered for sale in 1987 by the aging members of the Club, who could no longer properly maintain the structure. The Customs records were subsequently determined to be the property of the National Archives. However, the park remained concerned about proper storage conditions for its own museum collections, and so purchased the Polish Club building in 1988.

Soon after the purchase became final, a draft historic structure report for the building was completed by the Building Conservation Branch (BCB) of the Northeast Cultural Resources Center. Since then, numerous projects have been completed to preserve and improve the building.

Much work was required. The plumbing, electrical, and heating systems were in many instances unsafe and clearly could not satisfy modern code requirements. Asbestos was thought to be present throughout the building. The wood trim had not been painted in many years. The windows were in need of repair work, and the brick required repointing. Fortunately, the roof and skylight—although their useful lives were coming to an end—were still watertight.

The park intended to house the museum collections on the second story of the building, and to use the third story as offices. A use for the first story was undefined. The Boston architectural/engineering firm of Stopfel-Miller was contracted to complete specifications for the rehabilitation of the building in 1989; that work was completed in 1990. During the firm's architectural investigations, it was discovered that the structural integrity of the third-floor trusses had been compromised by an earlier remodeling. While Stopfel-Miller was completing their work, the park's maintenance division moved into the first story to establish a Park Service presence in the building.

The presence of asbestos was confirmed by Dennison Environmental, Inc., in 1989; all of this was removed in 1992. Perimeter security was established by the installation of a primitive but functional security system. BCB personnel upgraded electrical service to the boiler in the summer of 1991 to assure that the building would remain heated that coming winter.

Project funds were obtained in 1992 for the BCB to repair windows, repaint the exterior trim in the existing (nonhistoric) white color, and perform minor repointing of the brick.

As the park maintenance division expanded its operation, alterations were made to the building to accommodate new uses. The former club room on the first story became the maintenance shop, with the east-side bathroom (Room 113) being removed to enlarge it. The suspended-tile ceiling in the room was removed upon the recommendation of the Regional fire prevention specialist, and new fluorescent light fixtures were installed. The pressed-metal ceiling above the suspended ceiling was removed and stored, and the carpeting was removed. The old rear office (Room 110) became the maintenance office, the modern storage area (Room 112) being eliminated to enlarge that space. A large single-pane window was installed in the wall separating the office and shop.

Work in the basement included rebuilding the boiler firebox in 1993, and the dismantling of the kitchen (Room 002) in 1994. The kitchen fixtures were removed, and the walls were demolished to accommodate the storage of maintenance supplies and equipment. The west center stairway—damaged during 1996 flooding—was also dismantled, and a trap door installed so that mowers and other equipment could be lowered into the basement.

By 1994, it became apparent that the park would not be able to acquire a separate building for maintenance operations. Therefore, the plans for the Polish Club building were altered: the first story and basement would be the park's permanent maintenance base, while the second story would be devoted to an education center. (The third story was still to be used for staff offices.) Planning for the museum-collections storage facility began to focus on the second and third stories of the Public Stores.

Consequent work involved the stabilization of load-bearing components of the building by the BCB in 1995. Support posts were relocated in the basement, and a laminated beam was installed under the first-story ceiling. On the third story, the damaged trusses were repaired by exposing the damaged elements within the walls and stabilizing the parts with metal plates. The walls of Rooms 302, 303, 309, and 310 were temporarily covered with wallboard and paneling and painted an off-white in 1995 and 1996, so that the rooms could be safely used as temporary offices.

In 1996, the Salem Maritime NHS maintenance staff improved the appearance of the second-story meeting area in anticipation of its role as the new educational-program area. The paneled walls were painted, as were the interior window sashes. The floor was sanded and refinished. Finally, interactive exhibits were installed in the space in spring 1997. That same year, a new roof and copper work were installed through a contract administered by the BCB. The chimney at the northeast corner of the building was repaired and repointed under the same contract.

Plans and specifications to complete the rehabilitation of the building were finalized in 1996-1998, with money to fund the work included in the President's FY 1999 budget proposal. Readers are advised to consult the completion reports that will be prepared to document the rehabilitation work as it occurs.

I. ADMINISTRATIVE DATA

BUILDING STATUS

St. Joseph Hall—the Polish Club building—is located at 158-162 Derby Street, Salem, Essex County, Massachusetts. It is situated on the corner of Derby Street and Palfrey Court (fig. 1), in Ward 01-Lot 347, Map 35, zone B-1 (Small Neighborhood Business)—figure 2. The present structure was built in 1909. Since then, it has had only two owners—the St. Joseph's Polish Roman Catholic Society, and the National Park Service, which acquired the property on October 29, 1988. The building is currently vacant.

Basic Data

Name and Number of Structure

St. Joseph Hall - The Polish Club
Building Number 14
Salem Maritime National Historic Site
Salem, Massachusetts

Management Category

Collection Management Plan

Proposed Treatment

Rehabilitation

National Register Status

St. Joseph Hall (the Polish Club) is included in the Derby Waterfront District, Salem, Massachusetts.¹ The Derby Waterfront District received National Register listing locally in 1974 and nationally on May 17, 1976.²

¹ Item 9, Map Key, Derby Waterfront District, Salem, Mass., National Register Nomination Form (Appendix B).

² Information received from Massachusetts Historical Commission, April 1989. See Appendix B.

Proposed Use

Adaptive Reuse

Building uses will include museum object storage, offices, library, conference room, various work areas and photo studio.³ Salem Maritime NHS will require all the space within the structure for cultural resource management and visitor use functions.⁴ Studies conducted as part of the Salem Project will define the approximately 2,000 square feet of space left vacant by the previously proposed archival use. The first story will be finished to an approximate level to ensure maximum flexibility for future use.⁵ For suggested space arrangements, see the Trip Report/Adaptive Reuse Proposal by Donald R. Cumberland (Appendix E).

Identification of Pertinent Planning Documents

Collection Management Plan

The Salem Project

The Salem Project is a revitalization plan generated by the National Park Service and the Salem Partnership (see Appendix D). The goals of the project are to realize the potential of both physical and human resources at Salem Maritime National Historic Site, the City of Salem, and those resources in Essex County related to Salem. This includes: (1) protection and preservation of the area's cultural, natural, scenic, and recreational resources; (2) providing for the enjoyment, appreciation, and understanding of Salem's rich history; and (3) cooperating and working closely with others to preserve similar resources of local, state, regional, national and international importance for the public benefit.

³ NPS memorandum H30 (SAMA), Superintendent, Salem Maritime NHS, to Chief, Historic Preservation [March 27, 1989].

⁴ NPS memorandum A44 (SAMA), Superintendent [SAMA], to Acting Regional Director, NAR, May 11, 1989.

⁵ NPS memorandum A44 (SAMA), Superintendent [SAMA], to Acting Regional Director, NAR, May 11, 1989.

Recommended Changes in Proposed Treatment or Use

Recommendations for the retention of certain specific elements or architectural fabric contained in the Polish Club building are indicated in chapter IV, "Recommendations." These recommendations are based on evidence resulting from physical investigation of the Polish Club building and oral history taken from various members of the Polish community in Salem. The recommendations are made for purposes of preserving those portions and features of the property which are significant to its historic, architectural and cultural values. The Secretary of the Interior's Standards for Rehabilitation are the ultimate standard which should be used for the proposed treatment of this structure.⁶

Recommendations for the Care of Research Material

Research material collected or produced during the preparation of this historic structure report—e.g., samples of architectural fabric and finishes such as wallpaper, paint and mortar, and photographs taken during the investigation—will be stored at the North Atlantic Historic Preservation Center. Certain selected items may have potential for artifact collections and/or resource material for future research.

⁶ *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, U.S. Department of the Interior, National Park Service, Preservation Assistance Division, Washington, D.C.

STATEMENT OF SIGNIFICANCE

St. Joseph Hall (the Polish Club) is significant from the standpoint of local and national history, American socio-cultural history, and American architecture.

Local and National History

The Polish Club has National Register listing as part of the Derby Waterfront Historical District (Appendix B); it also included in the Salem Maritime National Historic Site. Salem is rich in historical significance, having been, among other things, the foremost seaport during America's China Trade period. The city of Salem is extensively documented at the Essex Institute and therefore needs no reiteration here. The Derby Wharf District is also well documented at both the Essex Institute and the Salem Maritime National Historic Site.

American Socio-Cultural History

Most significant, perhaps, is the socio-cultural history of the structure. The Polish Club building served as a religious, cultural and social center from 1909 to the 1980s and provided housing for Polish immigrants and new Polish residents in Salem from 1909 to the late 1960s.⁷

Prior to 1909, the land at 160-162 Derby Street was occupied by the Sanborn-Hurley house. The history of this house, and of its demolition to make way for the Polish Club building, is described in a 1986 report by Edward W. Carberg, "The Sanborn Estate and the St. Joseph's Society Building" (see Appendix C). The Hurley family's acquisition of the Sanborn estate reflected the introduction of Irish-owned commercial businesses and residents to the Derby Street neighborhood.⁸ A succession of Irish ownership lasted until ca. 1904 at which time began a long period of Polish ownership of the property.⁹

The first Polish Club at this address was called "Sons of Poland Hall" and was listed in the 1903-04 Salem Directory as occupying the premises at 162 Derby Street. By 1906 the St. Joseph's Polish Beneficial Society and the St. Joseph's Polish Band were headquartered at 162 Derby Street.¹⁰ The last private owners of the Sanborn-Hurley House were Joseph and Maryanna Szczechowicz, who sold the property to the St. Joseph's Polish Roman Catholic Society in 1906.

⁷ Carberg (p. 9) mentions "tenants." Also, telephone interview, May 1989: according to Mr. and Mrs. Walter Andruszkiewicz, Sr., the living quarters on the third story have been empty for about 20 years.

⁸ Carberg, p. 4.

⁹ Carberg, p. 7.

¹⁰ Carberg, p. 8.

In 1908 the Sanborn-Hurley house was razed and the present three-story brick commercial/residential building was constructed in its place, occupying the site at 158-162 Derby Street. Former owner Joseph Szczechowicz, as well as other Polish families, contributed money toward the construction of the new building, which was completed in 1909.¹¹

In the 1909 Salem Directory the new structure is listed as “St. Joseph’s Hall Building, 158-162 Derby Street.” The new building housed the “...hall facilities, as well as William Soboczinski, lunch (room); John Kwiatkowski, foundryman (tenant); Joseph Laskowski, laborer (tenant); and W. Szczechowicz, pool (room).”¹²

From 1909 until 1947 the two main front rooms were occupied by Alpers Men’s Store, a retail clothing business, operating in Salem for 100 years (1889-1989).¹³ In 1947 the rooms were converted to club rooms for the Polish Club. The large reception hall was the center of cultural and social functions from the beginning until, and including, the recent transfer of ownership and dedication ceremony. Two typical gatherings at St. Joseph Hall are shown in figures 3-4.

Architectural Significance

The Polish Club building is architecturally significant in its stylistic relation to adjacent buildings on Derby Street, as shown in figure 5. Although of early 20th-century date, it was obviously designed to harmonize with colonial architecture in the neighborhood, as evident in the red brick siding and mullioned windows.

The building is also significant in its representation of a small, late-19th to early 20th-century brick commercial building. It is a simplified and scaled-down version of a type of commercial building found in many American cities during that period, particularly from Chicago eastward.¹⁴ The three-story red brick building features a combination of architectural styles and uses. An eclectic example of late Victorian architecture on a modest scale, it is primarily based on earlier styles.

The symmetrical placement and segmentally arched lintels of the upper story windows of the facade exhibit academic influences, as do the arched brick entrances with deep reveals on the south and west elevations. The combination of exterior red brick siding and painted wood trim, as well as the long rows of uniform windows on the second and third story are reminiscent of early nineteenth-century New England mill housing.

¹¹ Carberg, p. 9.

¹² Carberg, p. 9.

¹³ Telephone interview: Marie Carden with Mrs. Alpers, daughter-in-law of original owner of Alpers Men’s Store, November 1988. Mrs. Alpers remembered that the awnings were usually green and white.

¹⁴ William H. Jordy, *American Buildings and Their Architecture: Progressive Ideals at the Turn of the Twentieth Century*, Vol. III (Garden City, NJ: Anchor Books, 1976), p. 18.

The facade of this three-story red brick building was constructed in three piers, with full store front on the first story, a row of tall windows on the second story and a row of shorter windows on the third. This structural arrangement is typical of similar buildings dating between the 1880s and early 1900s, as shown in the ca.-1900 Boston storefront (fig. 6).

Serving a combination of functions, the Polish Club building contained a menswear store on the first story, meeting or reception hall on the second story and residential units on the third. This usage was apparently typical of many small, late-Victorian commercial buildings, as illustrated in the historic photograph of Odd Fellows Hall, Cambridge, Massachusetts, 1884 (fig. 7), which shows a first-story storefront, presumably a large hall on the second story, and smaller units on the third. (See also “Evolution of Occupancy and Use” in Chapter II.)

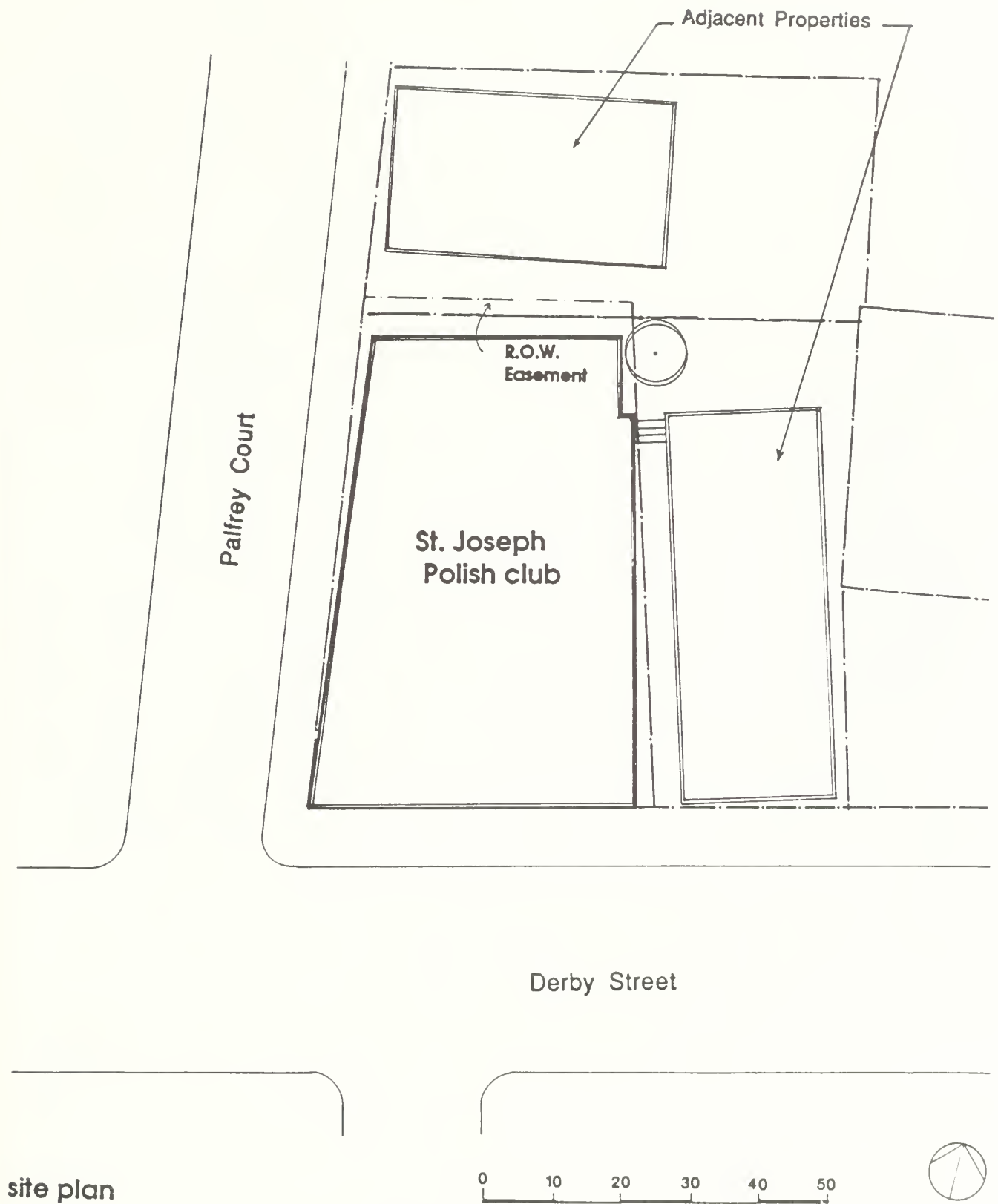


Figure 1. Site plan for Polish Club building, 1988.



Figure 3. Polish Club building: south (facade) elevation, ca. 1946.

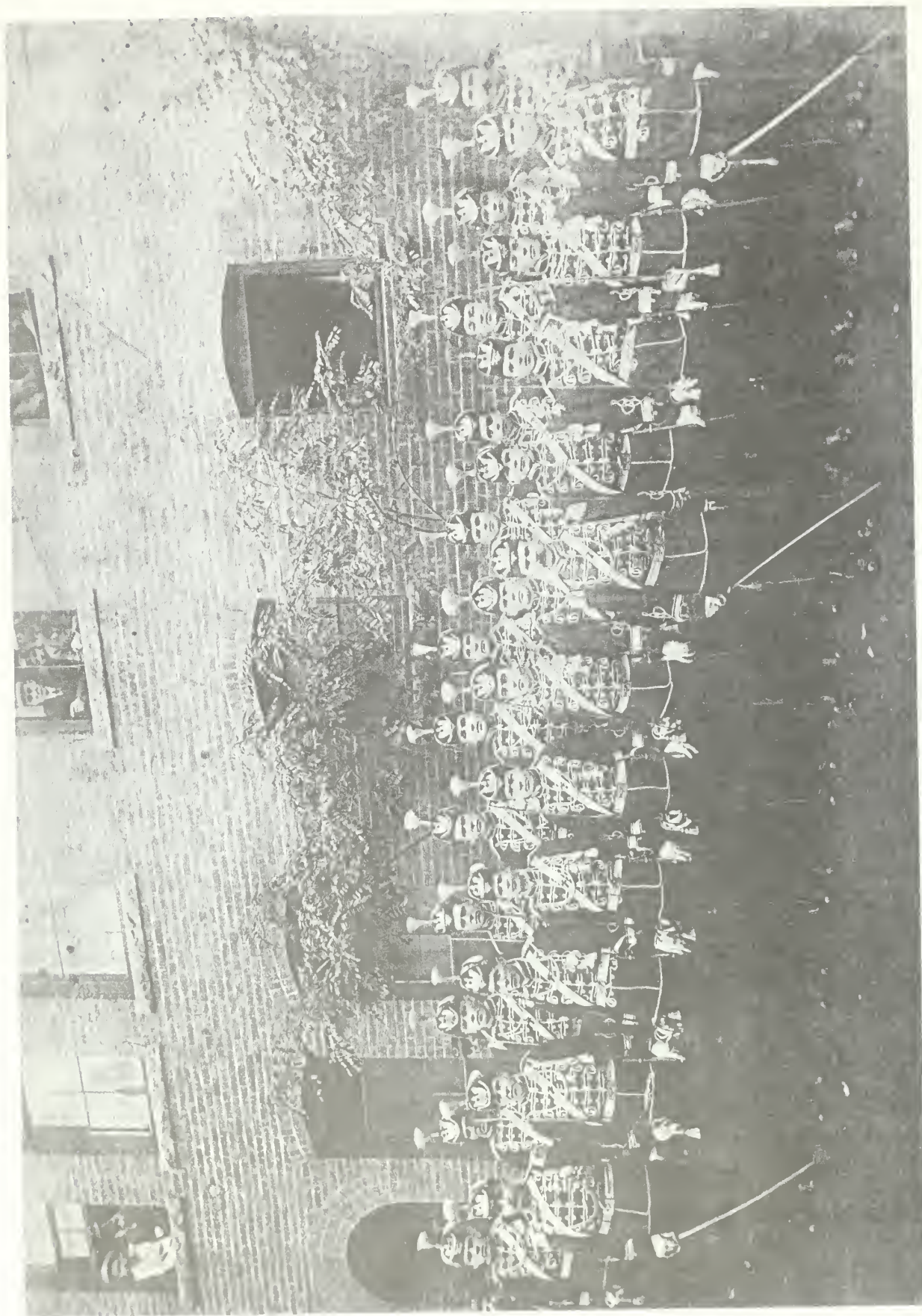


Figure 4. Polish Club building: west elevation, with St. Joseph's Polish Drill Team, ca. 1920.

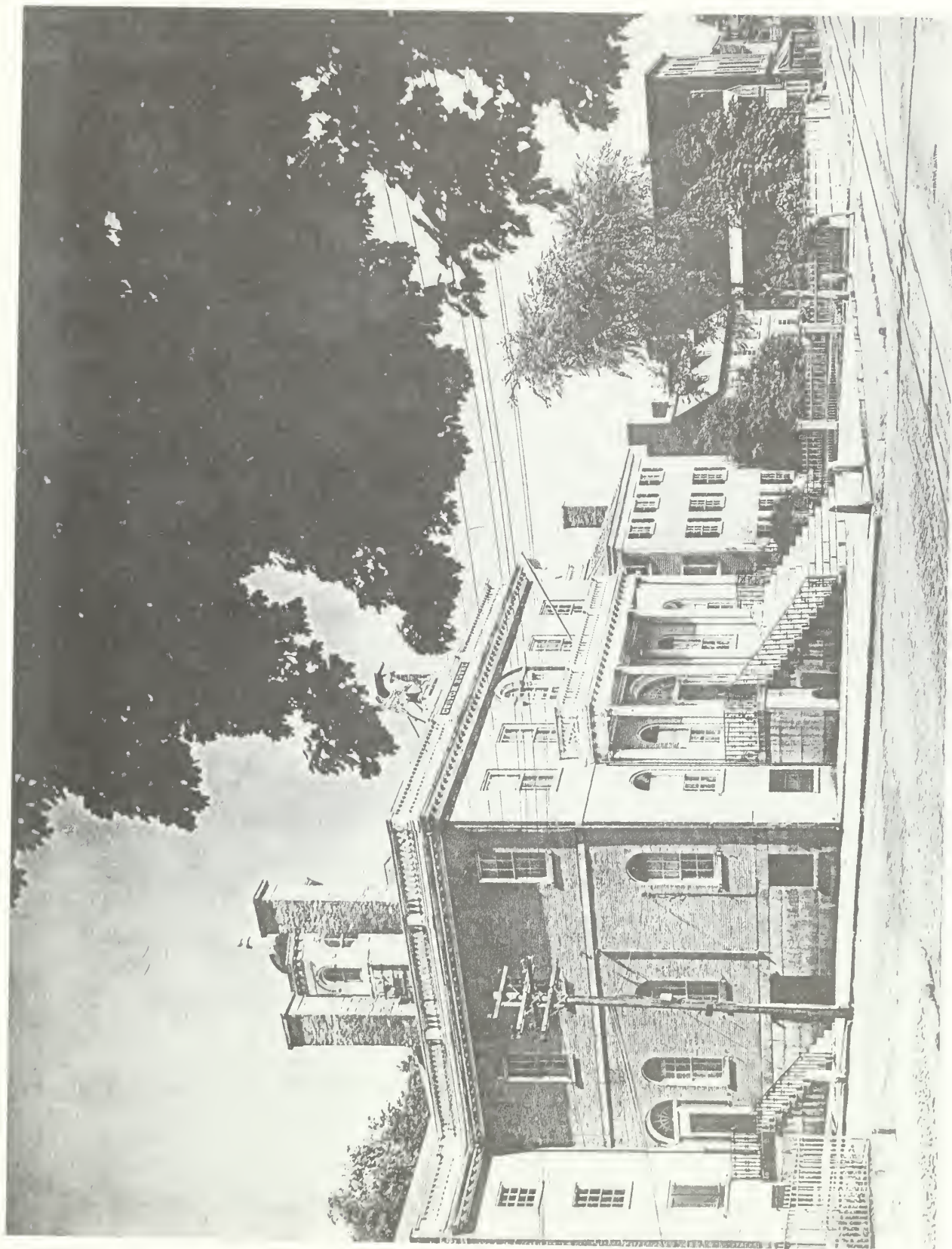


Figure 5. Derby Street, Salem, MA, facing northwest, ca. 1946.
Polish Club building is at far right (with awnings).



Figure 6. Storefront of an early commercial building, Albany, NY, ca. 1884.

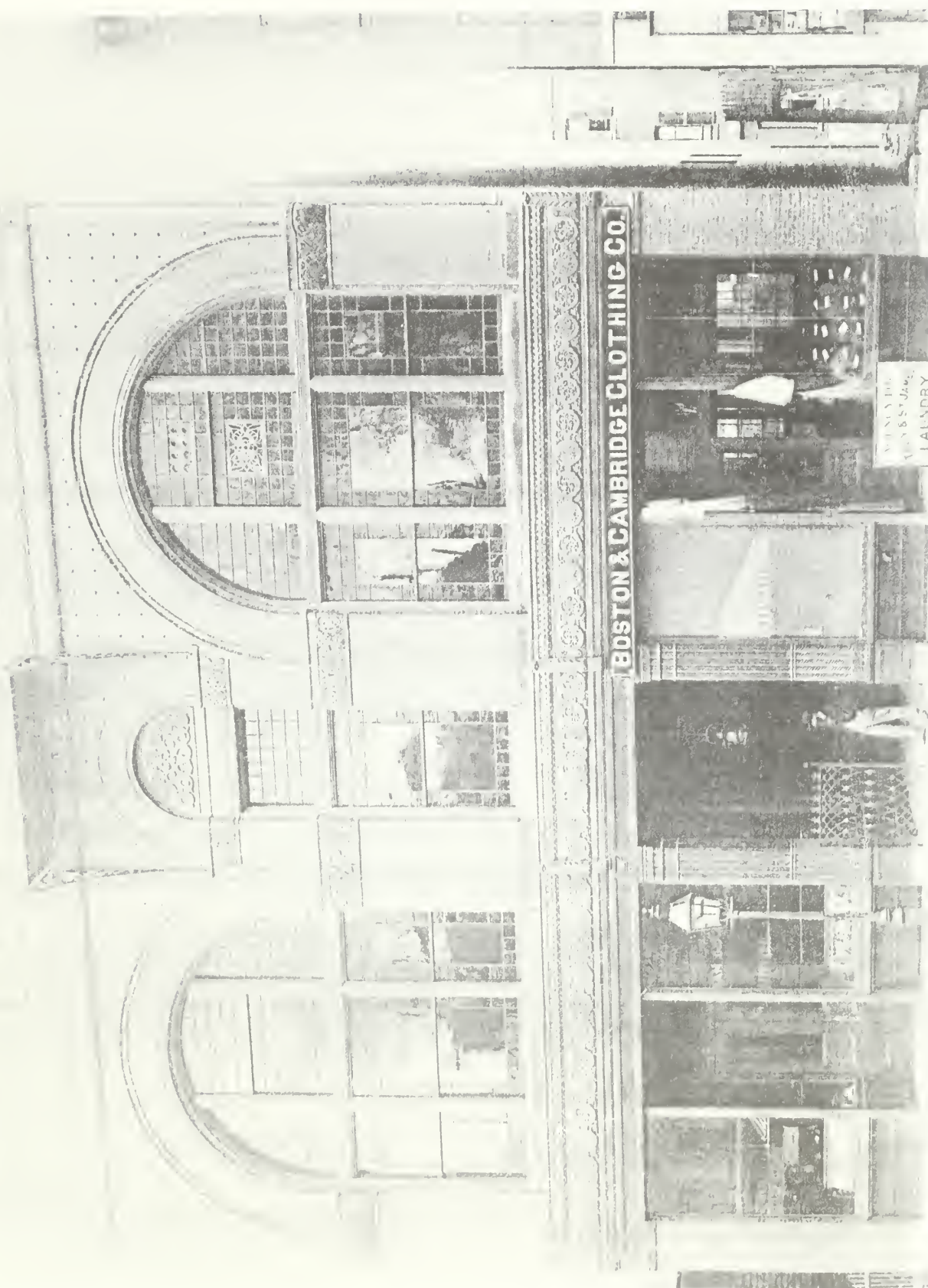


Figure 7. Odd Fellows Hall, Cambridge, MA, 1884.

II. ARCHITECTURAL HISTORY

CHAIN OF TITLE

As stated previously, there have been only two owners of the present Polish Club Building—the St. Joseph’s Polish Roman Catholic Society and the National Park Service.¹ However, the property at 160-162 Derby Street had a long sequence of owners prior to 1909, as well as a number of former buildings. The chain of title is important primarily because of the nationality of the owners involved. The list of original and subsequent owners reflects the cultural development of the neighborhood from ca. 1840 to the present.

The following succession of deeds is excerpted in part from the 1986 report by Edward Carberg, which—according to the report—was based on records at the Registry of Deeds, Essex County, Massachusetts.

ca. 1840:	Theophilus Sanborn
Oct. 30, 1867: (Book 733, p. 179)	Lydia Sanborn Russell, George Russell, Caroline L. Sanborn Kimball, David C. Kimball and Lucy A. Sanborn Havend [heirs of Theophilus Sanborn]. “...a portion of the property called Brick Dwelling House and other buildings thereon” to John Hurley and Michael Hurley
Feb. 19, 1870: (Book 790, p. 296)	Elizabeth M. Sanborn “...the remaining portion of the Sanborn property...” to John Hurley and Michael Hurley
July 27, 1888: (Book 1228, p. 399)	John Hurley and Michael Hurley to Sarah Phelan, wife of William Phelan
Aug. 2, 1888: (Book 1228, p. 340)	Sarah Phelan to James H. Sullivan
[1880s to 1890s reported to be unclear]	
Sept. 27, 1904: (Book 1755, p. 378)	Louis Dembofsky and wife, Sarah to Walter Shapiro and wife, Anna
Nov. 28, 1904: (Book 1763, p. 306)	Walter Shapiro and wife, Anna to Wofzewcz (sp?) and Francyska Pokorski
June 27, 1905: (Book not known)	Francyska Pokorski to Joseph Szczechowicz and his wife, Maryanna
Dec. 4, 1906: (Book 1851, p. 543)	Joseph Szczechowicz and his wife Maryanna to the St. Joseph’s Polish Roman Catholic Society

¹ The property at the rear (north) of the building was sold in 1949.

March 11, 1949: St. Joseph's Polish Roman Catholic Society, Inc., [a portion of land,
(Book 3652, p. 556) bounded and described in above entry] to Boleslaw Staniewicz,
[Right of way reserving a right of way immediately adjoining the rear of the
easement] property now owned by the Society

Aug. 10, 1988: St. Joseph's Polish Roman Catholic Society to National Park Service,
(Book 9870, p. 60) U.S. Department of the Interior

The cultural changes in the neighborhood that reflect the gradual decline of Irish dominance in the area are illustrated in the above list of owners.

EVOLUTION OF OCCUPANCY AND USE

Summary

The occupancy and uses of the Polish Club building varied little over the years. From its construction in 1909 until October 1988, it was primarily the home of the St. Joseph's Polish Roman Catholic Society. As such, it served as a center for the local Polish community. The basement always had a large room used for recreation or functions. The second story always had a large front room used as a reception or meeting hall for social and/or ceremonial functions. The third story was always in residential use, primarily for Polish immigrants. The primary changes in usage involved the first story. The front portion of this level contained a retail store from 1909 until 1947 that was occupied by Alpers Men's Store. A storefront operation at street level was a common arrangement in this type of small commercial building, bringing in rent money to support the operations and functions of the upper stories. The store closed in 1947, and the space was converted to club rooms for the Polish Club.

This unusual continuity of usages is reflected in the following section; if no information is given for an area for a particular time period, it means that the area did not change in use or design during that period.

1909

General

The architect of the present Polish Club is not known. No original plans or drawings for its construction have been found. Based on all of the evidence collected for this report, it is thought that the south (facade) elevation originally appeared as shown in figure 8.

Basement

The basement contained a large room at the front. It was accessed primarily by a stairway along the west wall; this ascended to an exterior doorway near the center of the west elevation that led to Palfrey Court. The room was used as a pool room, according to the Salem Directory of 1909.² The directory suggests that a lunch room was also present, but its location is not known.

In the center of the basement were two interior stairways to the first story. It is thought that they were side by side at basement level, but turned away from each other via two concrete winder steps to run in opposite directions (west and east).

The area behind (north of) the two center stairways contained the furnace and other utility equipment. This area was accessed by the building's rear stairway, which ran all the way to the third story. There was no toilet room at this level.

² Carberg, p. 9.

First Story

The majority of this space consisted of two large front rooms that were occupied by Alpers Men's Store (fig. 9). The primary entrance to the store was in the south wall; it had a raised platform on either side of it used for mounting window displays. Along the north wall were the two center stairways to the basement; at the north end of the east wall was a toilet room.

An enclosure along the south end of the west wall of the story held the stairway that ascended straight from the secondary exterior doorway in the south elevation to the second story and its large reception hall. A small sliding window at the south end of the west wall of the enclosure allowed a person to view those entering the secondary entrance on their way to the upper stories. It was also used for taking tickets from those going to the second-story hall for functions. The west display platform was cut back to provide access to this window. Beneath the stairway was an exterior doorway to Palfrey Court that served the southwest stairway to the basement.

The north end of the first story contained a small room and two rear stairways in the northwest corner, and one large room in the remainder of the space. The small room had its own exterior doorway in the west wall, leading to Palfrey Court. It was used for bringing in supplies, based on physical evidence; it also provided access to the rear space, which was used as a private bar room for Polish Club members.³ One of the two rear stairways descended to the basement. The other stairway ascended to the second story; it had its own exterior doorway to Palfrey Court, right next to the doorway of the small northwest room.

Second Story

The large reception hall (fig. 10) occupying most of the second story was used for social activities, ceremonial functions, and meetings. It had a stage across its north end, with east and west wings. The room was mainly accessed by the previously described stairway ascending from the secondary entrance in the south elevation. Winding above this stairway was a large, open stairway to the third story. At the northeast corner of the room was a toilet room.

Behind (to the north of) the reception hall was a cloak room in the northeast corner, a hat check room along the north wall, and the rear stair hall in the northwest corner. While the stair hall was primarily for access to apartments on the third story, it also connected to the reception hall through the cloak room.

Third Story

The third story contained simple apartment units and rooms, which provided temporary housing for Polish immigrants and other new members of the local Polish community. This function continued at least until the late 1960s.⁴

³ Interview: Marie Carden with John Sousa and Ray Szczuka, Salem Maritime NHS, December 7, 1988.

⁴ Oral history, park personnel, Salem Maritime NHS; also telephone interview: Marie Carden with Mr. and Mrs. Andruszkiewicz, Sr., May 1989.

Attic

The attic was a crawl space, to which a few miscellaneous would be relegated over the years.

1937-1938

General

There was a fire in the building in 1937, reported to have started in one of the third story toilets.⁵ However, no evidence of fire damage was noticed during the investigation for this report. Alpers Men's Store was using awnings to shade its south-elevation display windows (see figures 11-13).

Basement

The large front room was being used for banquets by 1938 (fig. 14); it probably continued in use as a pool room, as well.⁶ A kitchen off the west side of the large room was used for heating catered food brought down the stairway from Palfrey Court.⁷ The food was served in the basement or in the second-story reception hall. There is a space for a dumbwaiter in the northwest corner of the kitchen, and a boxed area above it in Room 105.

1946-1947

Basement

The usage of the basement kitchen was probably expanded to include the preparation of food for the newly created first-story club room, as described below.⁸ It is possible but not likely that a toilet room was created north of the kitchen at this time.

⁵ *Salem Evening News*, February 1, 1937.

⁶ *Salem Evening News*, February 1, 1937.

⁷ Interview: Carden with Sousa and Szczuka.

⁸ Interview: Carden with Sousa and Szczuka.

First Story

Alpers Men's Store moved out and the two front rooms were converted to a large club room (fig. 15). A permit was issued for alterations described as follows:

Remodel 2 [two] Rooms on 1st [first] Floor formerly used as stores to convert into Club Rooms, in accordance with approved plan and "changing of doors." [No plan was found.]⁹

The original north-south wall between the two front rooms was replaced with a partition wall, creating a large room with two sides.¹⁰ The east side was for men only; the west side was for "ladies and their escorts." A bar was built at the north end of the east side, covering over the original east center stairway to the basement. Liquor was served directly to the east (men's) side, and through a walk-up window to the west side. Food was served to both sides of the club room,¹¹ probably being brought up from the basement kitchen via the west center stairway. The southwest stairway from the basement might also have been used for this purpose, although waiters would have had to negotiate two doorways.

The raised display platforms at the south end of the club room were retained and given short curtains on low brass rods for privacy. A women's toilet room was installed in one of the small rooms on the west side, and the men's toilet room received new fixtures.¹² The front and rear stairways appear to have remained unchanged. The back room began to be used as an office, since the bar function had moved to the new club room.

1960s

Basement

A new furnace and heating and air-conditioning system were installed around this time. The east interior stairway at the rear of the large front room was removed and replaced with closets. It is likely that the toilet room north of the kitchen was created at this time, based on the appearance of its extant finishes and fixtures.

The kitchen continued to be used for preparing and serving food to the first-story club room, and possibly to the second-story reception hall as well. However, the method of bringing in provisions and catered food apparently changed, since the southern exterior doorway from Palfrey Court was boarded up. Deliveries could have been diverted to the doorway at the extreme north end of the west elevation, which also opened to Palfrey Court, or to the front Derby-Street doorway.

⁹ Application for Permit for Alterations, or Repairs, St. Joseph Polish Society [building] at Derby St. & Palfrey Ct., Salem, Mass., May 7, 1947 (see Appendix F2). Hereinafter referred to as building permit, 1947.

¹⁰ Building permit, 1947; also visual analysis.

¹¹ Interview: Carden with Sousa and Szczuka.

¹² Interview: Carden with Sousa and Szczuka.

First Story

The first story continued in club-room operation, although extensive redecorating was done. This involved the south-elevation display windows, as well as the interior of most of the first story.¹³ New fixtures were put in the west ladies' toilet room. In the rear of the building, a new toilet room was installed in the southeast corner.

1970s

Second Story

The basic usage of the second story remained unchanged. However, the stage in the large reception hall was removed, possibly reducing the room's use for performances and increasing its role as a place for meetings and social functions.¹⁴ The ladies' toilet room in the east wing was enlarged and updated, with the present pink modern fixtures, wallpaper, and dropped ceiling. A men's toilet room was installed in the west wing.

¹³ Interview: Carden with Sousa and Szczuka.

¹⁴ Interview: Marie Carden with Peter Lapachelle, Salem Maritime NHS, December 1988.

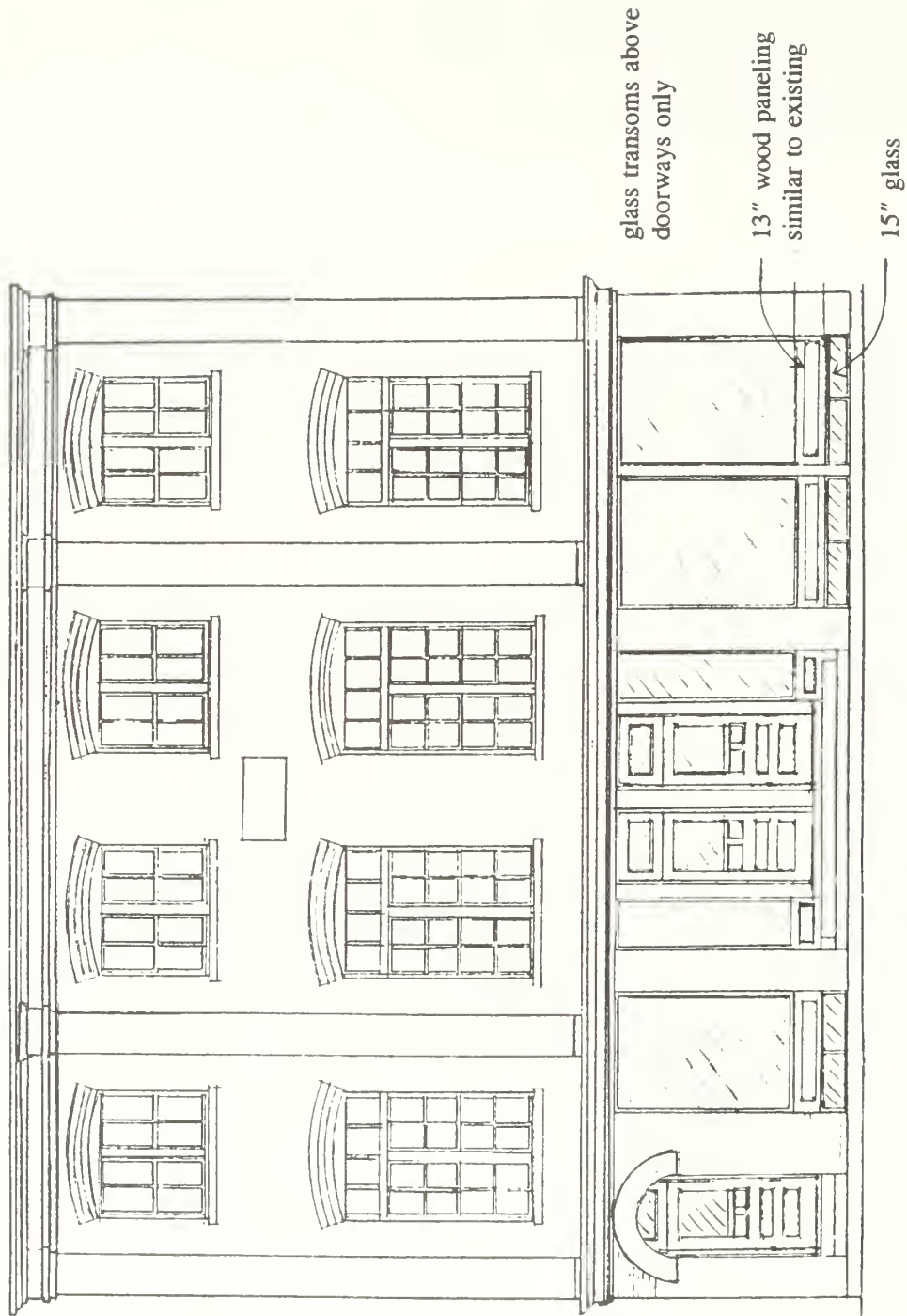


Figure 8. Polish Club building: conjectural appearance of south elevation, 1909.

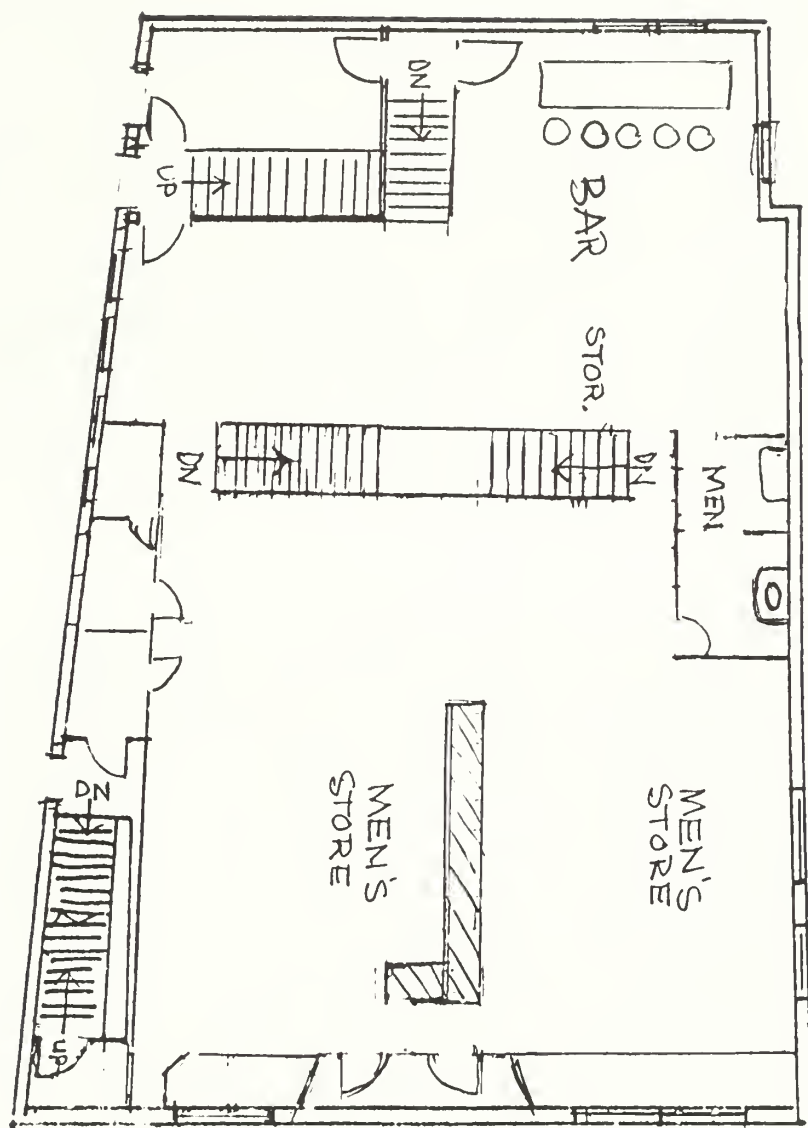


Figure 9. Polish Club building: conjectural first-floor plan, 1909-47.

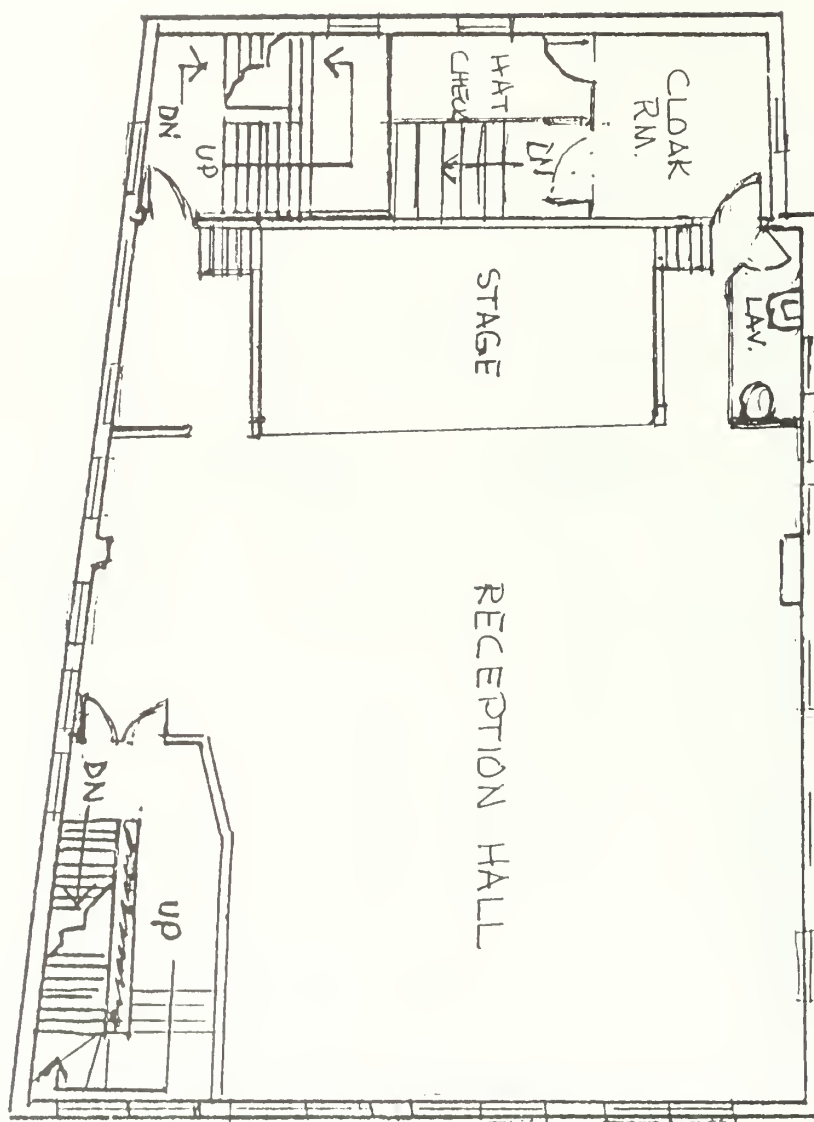


Figure 10. Polish Club building: conjectural second-floor plan, 1909-70.



Figure 11. Polish Club building: south elevation, ca. 1939.



Figure 12. Polish Club building: southwest corner, ca. 1939.



Figure 13. Derby Street scene, ca. 1940s.

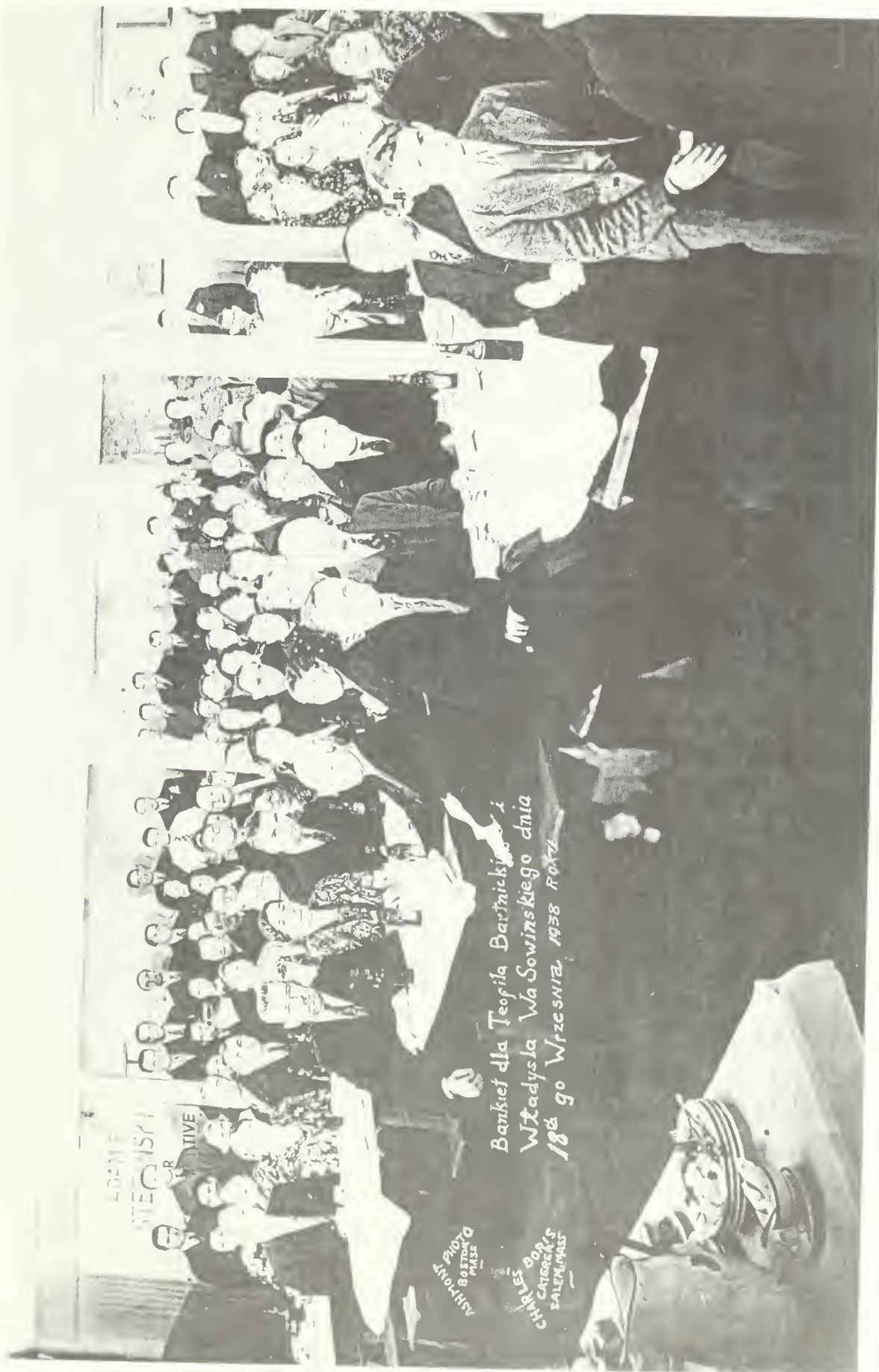


Figure 14. Banquet in basement function room of the Polish Club, 1938.

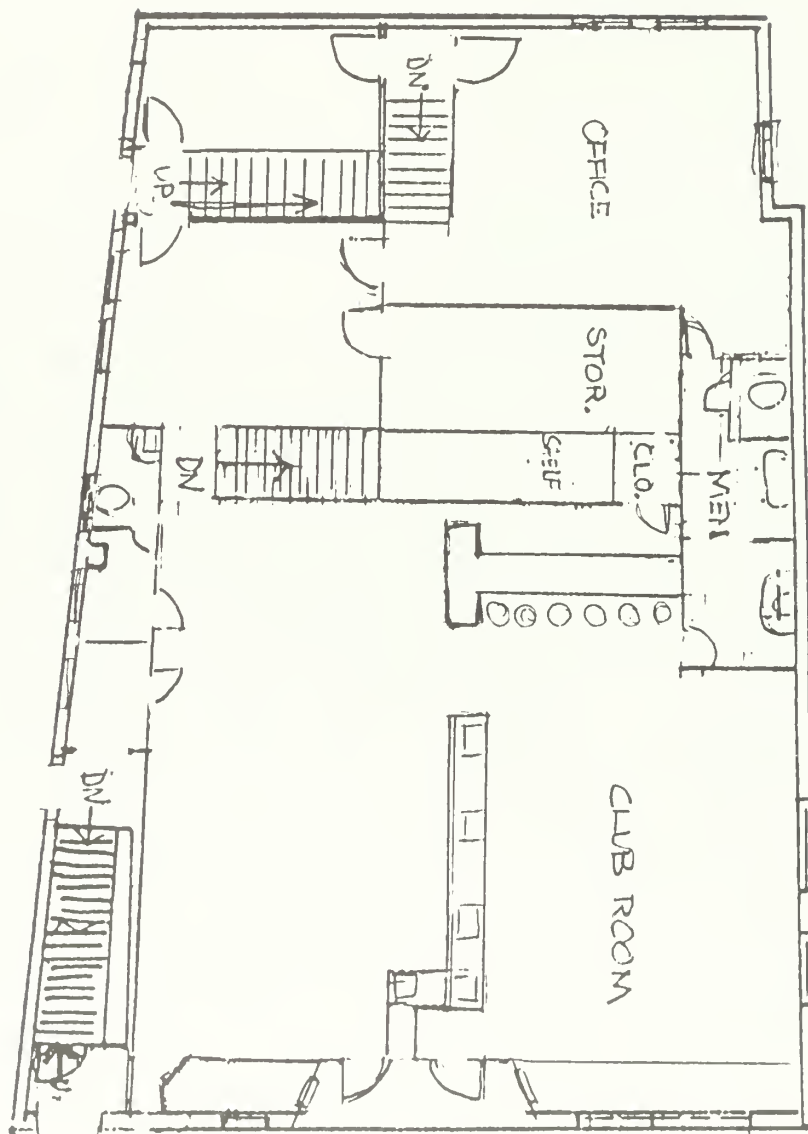


Figure 15. Polish Club building: conjectural first-floor plan, 1960s.

III. DESCRIPTION AND EVOLUTION

INTRODUCTION

Perhaps the single most important characteristic of the Polish Club building is the interrelation between its original design and its original usage. The first story contained a retail store, to provide income for the society; the second story had a large reception hall; and the third story was outfitted as living quarters for Polish families in transition. These uses were clearly indicated in the spatial arrangement of the interior. They were also evident in the exterior design, particularly of the south facade and west elevation.

A few alterations were made to the building over the years, reflecting changes in usage of certain spaces. The most obvious of these related to the conversion of the original retail store on the first story to a club room. In general, however, both the exterior and the interior of the Polish Club building today still reflect the structure's original designs and uses. The second-story reception hall and the third-story living quarters are virtually intact, as are the front and rear stair halls.

THE SITE

The following description is taken from an appraisal of the Polish Club property done in 1988:

The subject property...[appraised] consist[s] of land with a building improvement thereon,...located on the corner of Derby Street and Palfrey Court in the Derby Street Historic District of the city [of Salem] with its mixture of commercial establishments, residential homes and historic sites.

The subject lot consists of a nearly rectangularly shaped parcel with a total land area of 3049.2 square feet (0.07 c.). It has a frontage of 50' on the northerly side of Derby Street, a 26' wide public way, and 70' on the easterly side of Palfrey Court, a 12' wide dead-end public way. The terrain is level in contour. Off-site improvements include storm drains, paved sidewalks and roads and granite curbs. Utilities available and connected to the site include sanitary sewer, water, gas and electricity.¹

There is a property line allowance of one foot around the building with a right-of-way at the north (rear) of the property. The right-of-way dates to March 22, 1949, when the Polish Club sold a portion of land at the rear of their building, reserving a narrow strip for a right of way (see Appendix F2). This strip of land is approximately 3 feet deep and runs east and west along the property line at the rear of the building.

The transaction from the St. Joseph's Polish Roman Catholic Society, Inc., to Boleslaw Staniewicz included the land bounded and described as follows:

Westerly by Palfrey Court thirty six and seventy five one- hundredths (36.75) feet, northerly by land now or formerly of Collins thirty six and six-tenths (36.6) feet and southerly by land now or formerly of Potarski and St. Joseph's Polish Roman Catholic Society about seventy one (71) feet. Reserving, however, for the use of the grantor, its members, tenants and assigns a right of way over that portion of the premises immediately adjoining the rear of the property now owned by said Society for a reasonable distance for the purpose of ingress and egress to paint and/or make repairs and for delivery of commodities to and from the rear of the building upon said premises to Palfrey Court.

When the previously described property was converted to condominiums in 1986, the right-of-way easement for the Polish Club building was preserved (see Appendix F3). It was likewise included when the land at the corner of Palfrey Court and Derby Street was conveyed in a deed from the St. Joseph's Polish Roman Catholic Society, Inc., to the National Park Foundation (National Park Service) in August 1988.

¹ "Description of Subject Property," excerpted from Appraisal of Polish Club Property, submitted to National Park Service, November 1988 (included in Appendix E).

SUMMARY DESCRIPTION

The Polish Club is a large, three-story, box-shaped structure. The rear width of the building is slightly less than the front, giving the plan a trapezoidal outline (see figure 1). The total Gross Building Area is 11,637 square feet, including a full basement. The ground level (footprint) is 2,932 square feet, which occupies almost all of the total available land area of the site. This means that the building is situated with no setback from the street.

The Polish Club is an architecturally modest building, with only a few decorative features. These consist primarily of arched openings on the exterior, and two open staircases and a large reception hall on the interior. There is a recessed masonry sign on the south (facade) elevation between second- and third-story levels, which reads "1909 St. Joseph Hall." The exterior architectural style of the building is turn-of-the-century small commercial with Classical-Revival influences. The cornice above the first-story storefront and the flat roof with heavier cornice underscore the basic commercial style. The interior displays late Victorian influence, evident primarily in the fabric of the first-story front rooms, the second-story reception hall, and the open front and rear stairways from second to third stories.

The original configuration of the south-elevation storefront was changed in the 1960s, when the two large display windows were replaced by small, high windows. However, "ghosts" of the former display windows are evident in the brickwork. All basement and first-story window openings on the other three elevations were also bricked up at about this time. The original fenestration of the upper stories remains intact.

The frame of the building consists of brick masonry supporting wood main beams and steel lally columns. A physical inspection of both the exterior and interior of the Polish Club in 1988 "indicated the structural integrity of the building to be sound except for the need of minor pointing. The interior of the subject structure evidences serviceable and functional conditions with the exception of some necessary updating and deferred maintenance."²

² Appraisal of Polish Club property, November 1988.

EXTERIOR ELEMENTS

General Information

The exterior walls are of red brick, laid in running bond with plain corners. The low foundation, visible only on the south elevation, is a granite slab on a fieldstone subfoundation. The flat roof is covered with asphalt and gravel. It has a pyramidal skylight, a shed-roofed cover for the stair from the attic, three brick chimneys covered with stucco, and several vents. There is a molded wooden cornice at the roof line on the south and west elevations, and a metal cornice above the first-story storefront on the south elevation.

The original fenestration pattern is regular on the upper stories of the south elevation, and on the west elevation; it is less so on the north and east elevations. All original window openings, except for those of the basement, have flush, segmentally arched brick lintels and granite sills. All of the original window openings on the first story have been infilled with brick. According to mortar analysis, the side windows were infilled before those on the south elevation (see Appendix A2). The visual character of the exterior walls has been changed by the brick infill, particularly on the south elevation where the storefront display windows were removed. Remaining window openings contain double-hung wooden sashes.

South (Facade) Elevation

This elevation is depicted in figures 16-17. The first story is set off by a metal cornice. It originally featured a storefront consisting of two display windows to the east; a large recessed entrance in the center, with angled display windows flanking the doorway; and one display window to the west of the entrance (fig. 8). The display windows had no transoms, judging by the physical evidence; below them was a strip of wood paneling, and below the paneling there appears to have been low windows to illuminate the basement. The display windows were historically protected by awnings (figs. 11-13), usually green and white striped.³ Another, arched recess at the west end of the storefront contains a secondary entrance (fig. 18). The rectangular facade above this is divided into three bays by brick pilasters extending from the storefront cornice to the roof.

The south elevation remained unchanged from the time of its construction in 1909 until the 1960s, except for periodic refurbishing. This conclusion is based on not only documentary evidence, but also on physical evidence including visual analysis, structural investigation of the interior front rooms, and paint and mortar analysis. This evidence made it possible to produce two alternative drawings of the basic original storefront design (fig. 8).

³ Telephone interview: Marie Carden with clerk at Peletier Awning Co., December 1988. Awnings for Polish Club building provided by Peletier, at least from 1922 (est. date of Peletier Awning Co.). Awnings were usually green and white.

The storefront was drastically altered in the 1960s. Features dating to that time include the infill used to replace the former display-window arrangement: brick was used for the street-side windows and brown wood shingles for the angled windows of the entrance. Also installed then in the entrance recess were the two extant steel doors of the primary entrance, and the wooden deck and two wooden steps, now covered with carpeting. However, the storefront's original design is still evident from the obvious difference between the old brickwork and the new infill. Original or early remaining features include the granite slab at the bottom of the steps, and the pressed-tin ceiling of the recess.

The secondary entrance appears to be original and intact. The arched brick recess has a deep reveal and flush brick lintel set in triple rowlock. The doorway is further recessed, creating a small exterior foyer. This is sided in wood on the north and east sides; the west wall is brick. The east wall is sided with vertical, tongue-in-groove, wood sheathing inlaid with wood panels (fig. 19). Within the paneled section of this wall is a small glass window (now boarded over) formerly used for identifying visitors and taking tickets for functions on the upper stories. The floor and two upper steps are wood; the lowest step is a granite slab. The ceiling is pressed tin; it displays the same design as that in the main-entrance recess.

The five-panel, wooden door has a transom light and a glazed panel measuring 26 by 30 inches (fig. 20); both are now boarded over. The hardware—which appears to be original—consists of a cast-iron letter slot above the glazed panel and a brass doorknob and plate. All surfaces except for the brick are painted gray. A black iron gate across the entrance opening was installed in recent years for security reasons.

Fenestration of the south elevation's first story consists of eight small, high windows installed in the infill that closed up the original display windows. The brick wall area east of the primary entrance contains five small, high windows in a row, with an air-conditioning unit immediately to the east. The east and west angled shingled walls of the primary-entrance recess each have one small, high window. The brick wall area west of the entrance recess has one small, high window, with an air-conditioning unit to the west.

Upper-story fenestration is symmetrical and unaltered. The second-story openings have flush brick lintels that are segmentally arched in triple row-lock; the sills are granite. Each opening contains a four-light transom above a pair of windows with four-over-four sashes. The third story has four similar but shorter openings; there are no transoms, and the sashes are two-over-two lights. All windows have wood trim that is painted white.

Lighting on the elevation consists of one modern down light with two lamps mounted on the ceiling of the primary entrance recess. There is a capped gas pipe in the ceiling of the secondary entrance recess, indicating that original lighting was by gaslight.

Summary Chronology, South (Facade) Elevation

<u>Date</u>	<u>Windows</u>	<u>Doors</u>	<u>Finishes</u>	<u>Lighting</u>	<u>Other</u>
1909	1st story: storefront 2d story: paired, 4/4 w/transom 3d story: paired, 4/4 sashes	primary: two glazed doors. secondary: single glazed door	1st story: doors, trim greenish black; deck, steps gray; tin ceiling cream; door knobs brass. 2d story windows: grn/blk sashes, gray casings. 3d story windows: grn/blk sashes, gray casings.	gasoliers	awnings green/ white stripe
1920	same	same	all trim dark green; ceiling white	electric lights	same
1947	same	same	all painted trim was green	same	same
1960s-now	1st story: store-front windows bricked in; small high windows	primary: two modern steel doors. Secondary: original entrance door retained; iron gate across bricked entrance	wood shingles brown; all wood in secondary entrance gray; all other doors gray; all white; storefront and roof cornice white	primary entrance modern electric downlight; secondary entrance	none

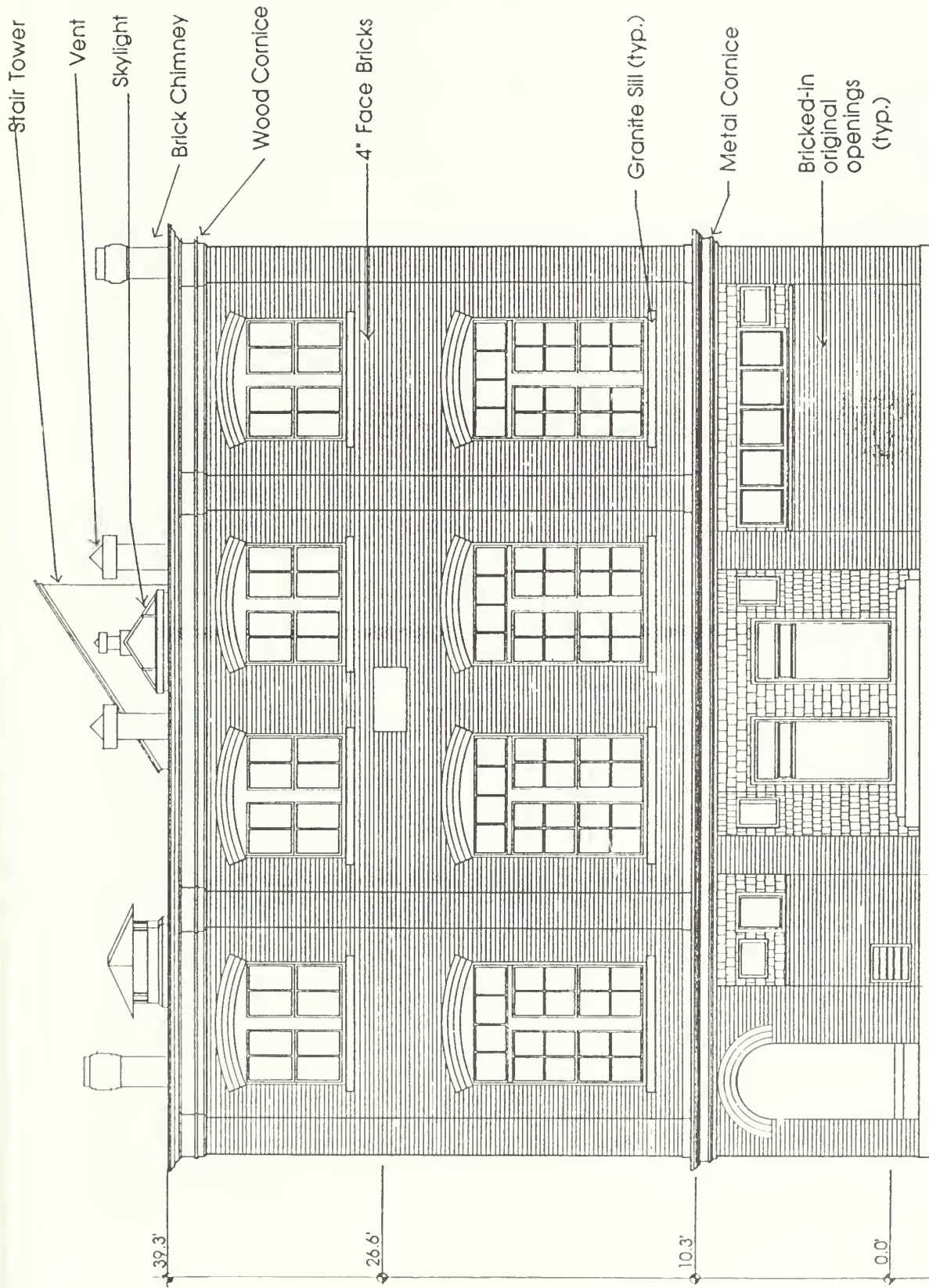


Figure 16. Polish Club building: south (facade) elevation.

south elevation





Figure 17. Polish Club building: south elevation.



Figure 18. Polish Club building: south elevation, secondary recessed entrance.

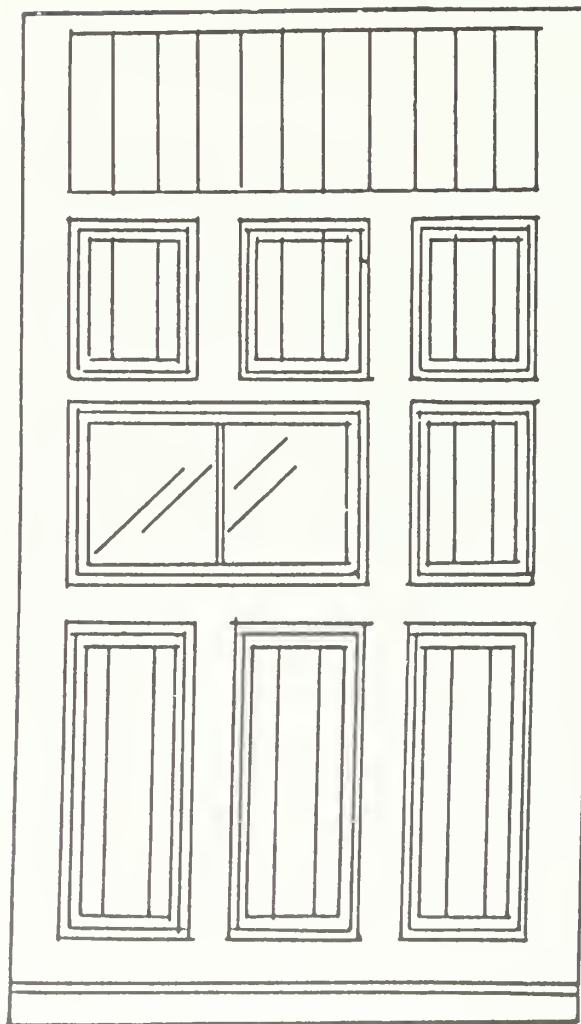


Figure 19. Polish Club building: Conjectural appearance of secondary recessed entrance's east wall, 1909.

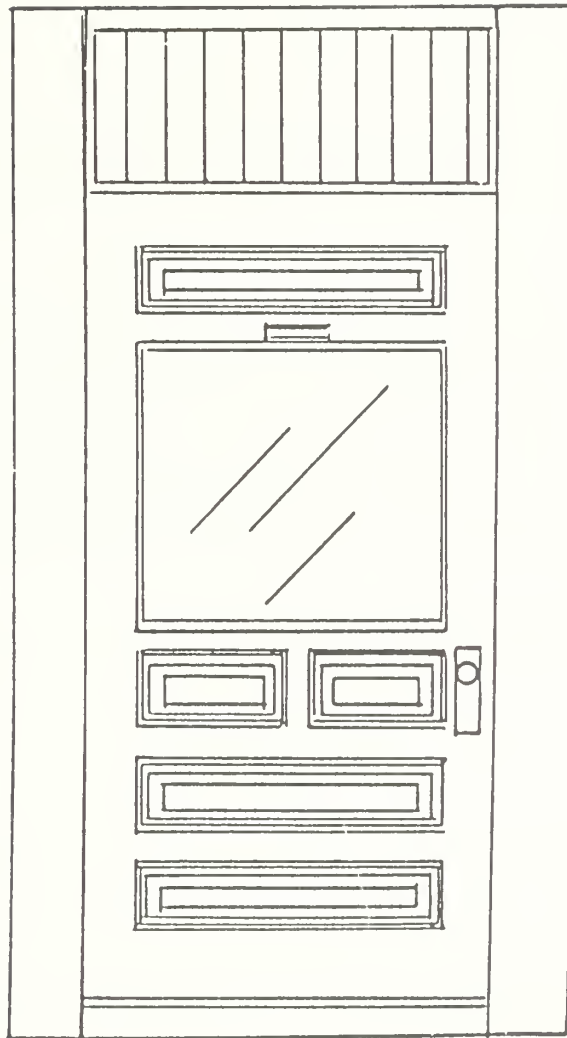


Figure 20. Polish Club building: Conjectural appearance of secondary recessed entrance's door, 1909.

West Elevation

The west elevation (fig. 21) has brick siding that extends from the heavy molded roof cornice to the sidewalk, with no foundation being visible. The first story has three original doorway openings: two adjacent round-arched openings at the north end, and one segmentally arched opening at the south end. The northernmost doorway was bricked up ca. 1950; the southernmost doorway was boarded up in the 1960s. The remaining doorway was fitted with a steel-clad exit door ca. 1960.

The six basement windows and five first-story windows are regularly spaced and have segmentally arched openings (see figure 4). However, all were bricked up in the 1950s or 1960s, based on the mortar analysis. There are two window vents on the first story and one at basement level.

As on the south elevation, the upper-story fenestration is regular, with segmentally arched openings that have not been altered. The second story has seven tall window openings; each opening contains a two-light transom and four-over-four sashes. The third window from the north has stippled opaque glass, presumably dating to ca. 1970 when a toilet room was installed on the west side of the second story. The third story has eight windows—seven aligned with the second-story windows, and one at the far south end. Most of these openings are short, single openings with no transoms and two-over-two sashes. The fifth opening from the north has a pair of narrower but similar windows. All wood window trim is painted white.

Modern telephone lines are attached to this elevation.

North Elevation

The north elevation (fig. 22) has no cornice and no doorways. The two first-story windows were bricked up in the 1960s, the north one receiving a vent at the top.

The upper-story fenestration is unchanged and somewhat irregular. There are seven windows: three at the second story and four at the third story. The three second-story windows and the three easternmost third-story windows are aligned vertically but not horizontally: the western ones are lower than the others, because of the interior presence of a stairway here. The fourth third-story window is aligned horizontally with the eastern windows.

All window openings are short, single openings with no transoms and two-over-two sashes.

East Elevation

The east elevation (fig. 23) faces a narrow dead-end alley. Nevertheless, it has several distinguishing features. For example, both the roof and the storefront cornices on the south elevation return onto this elevation. The brick wall steps back at the far north end; there is no foundation visible.

The east elevation has no doorways. All window openings are segmentally arched. The basement level has two small openings that were bricked up in the 1950s; the north one has a screened opening. The first story has five window openings: a full-size one at the stepped-back north section, two full-size ones at the north end of the main wall section, and two short openings near the center of the main wall section. All of these openings were bricked up ca. 1960.

The fenestration of the upper stories is unaltered. The second story has a total of eight window openings. There are five tall, single openings centered in the main wall section; one full-size and one narrow opening at the north end of that wall section; and one full-size opening in the stepped-back wall section. The tall openings contain two-light transoms and four-over-four sashes. The full-size openings hold two-over-two sashes, while the narrow opening has one-over-one sashes.

The third story also has a total of eight windows. Most of these are full-size openings aligned vertically with the full-size second-story windows. The fourth opening from the south holds two slightly narrower windows, also with two-over-two sashes.

At the north end of the dead-end alley are three engaged masonry steps leading to a small raised concrete patio at the rear of the lot.

Roof

This level is depicted in figure 24.

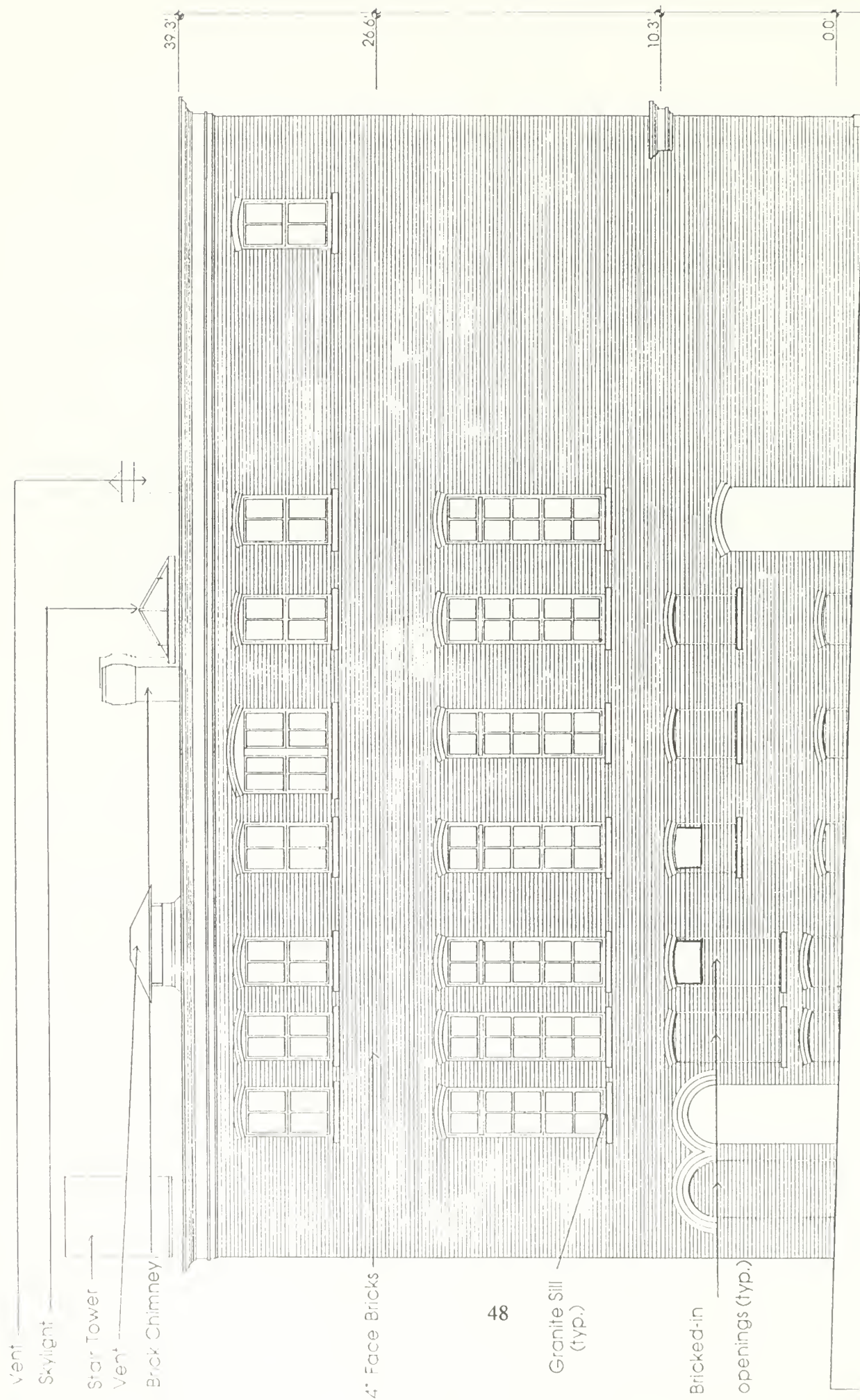


Figure 21. Polish Club building: west elevation.

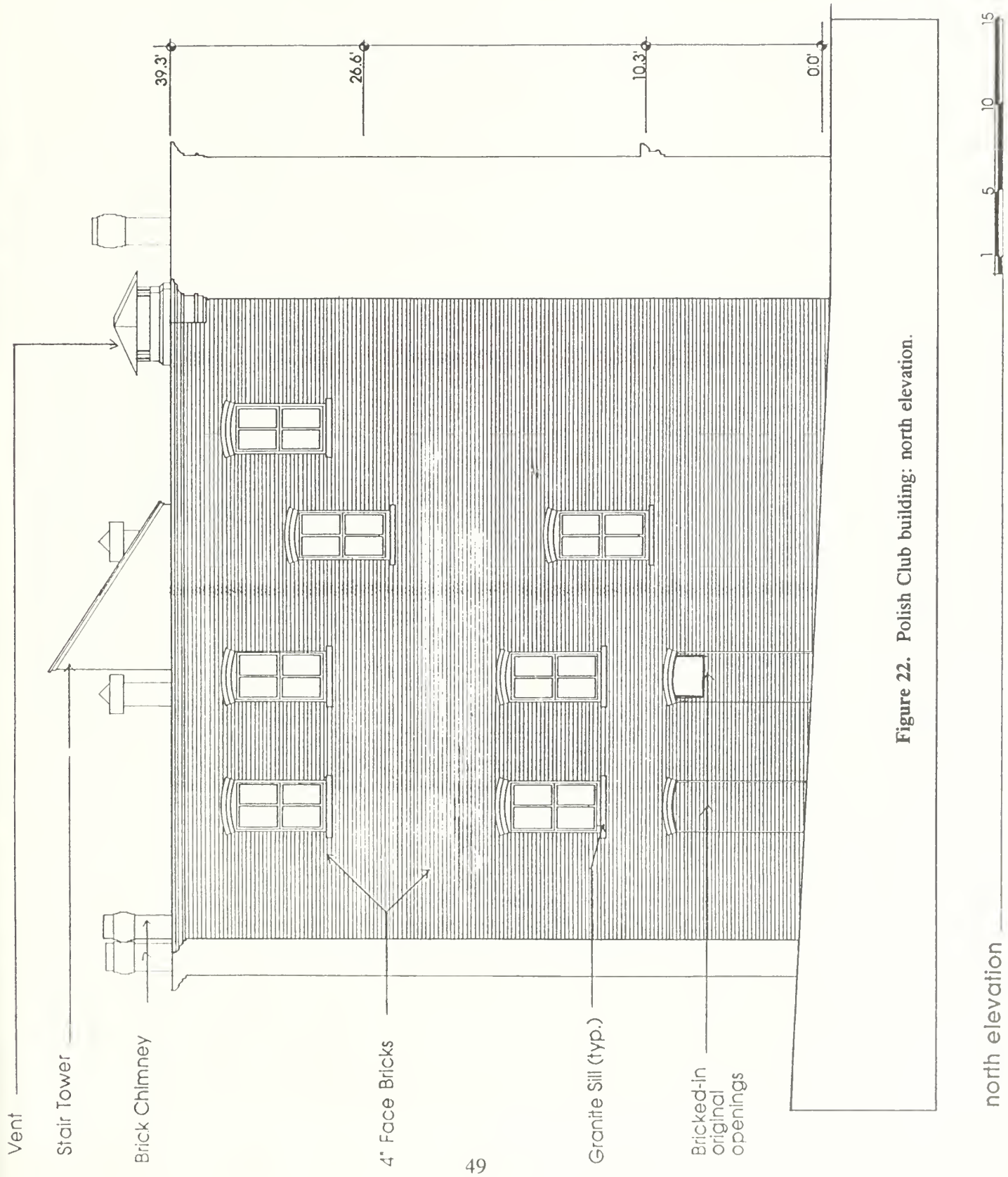


Figure 22. Polish Club building: north elevation.

north elevation

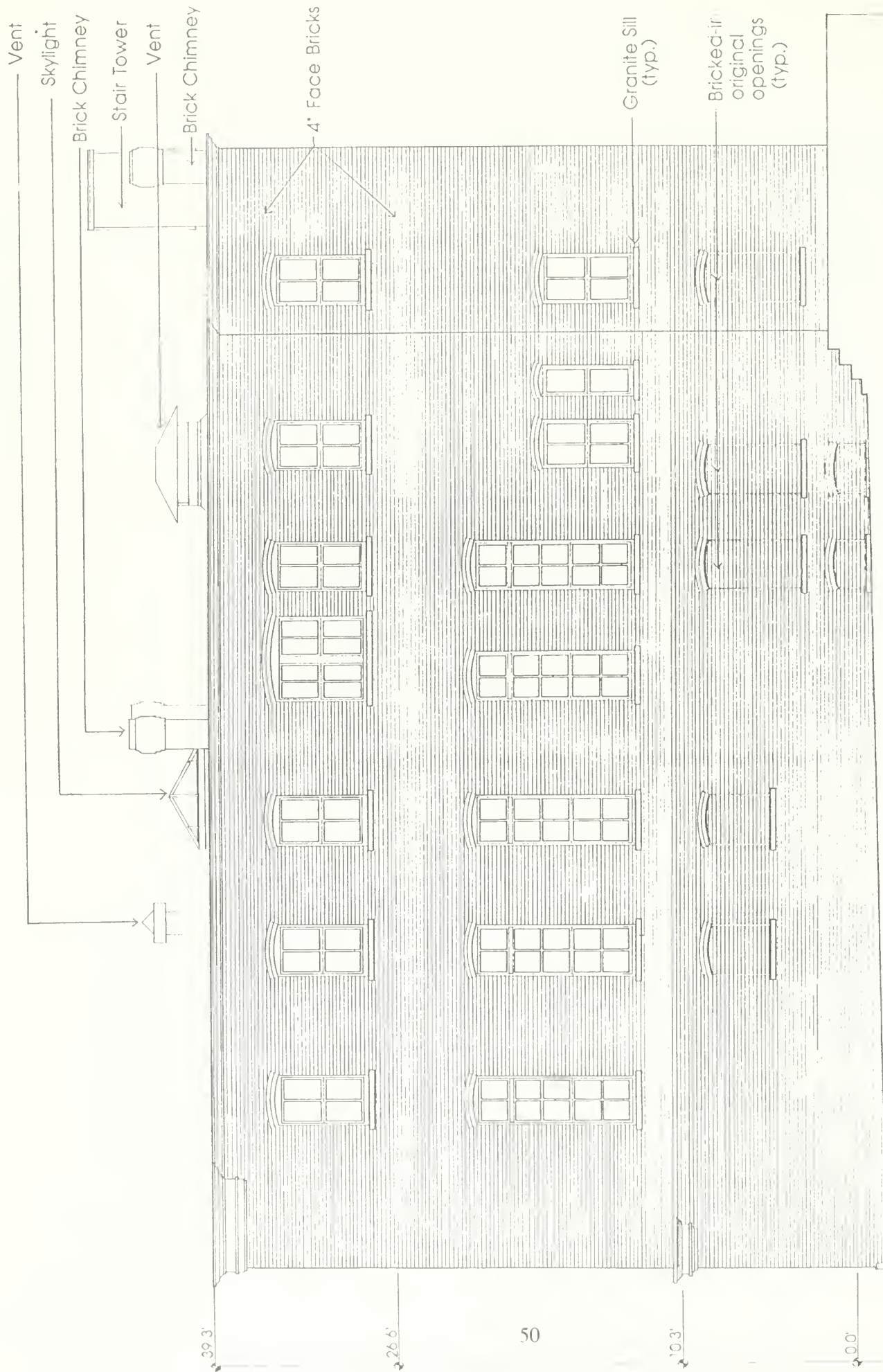


Figure 23. Polish Club building: east elevation.

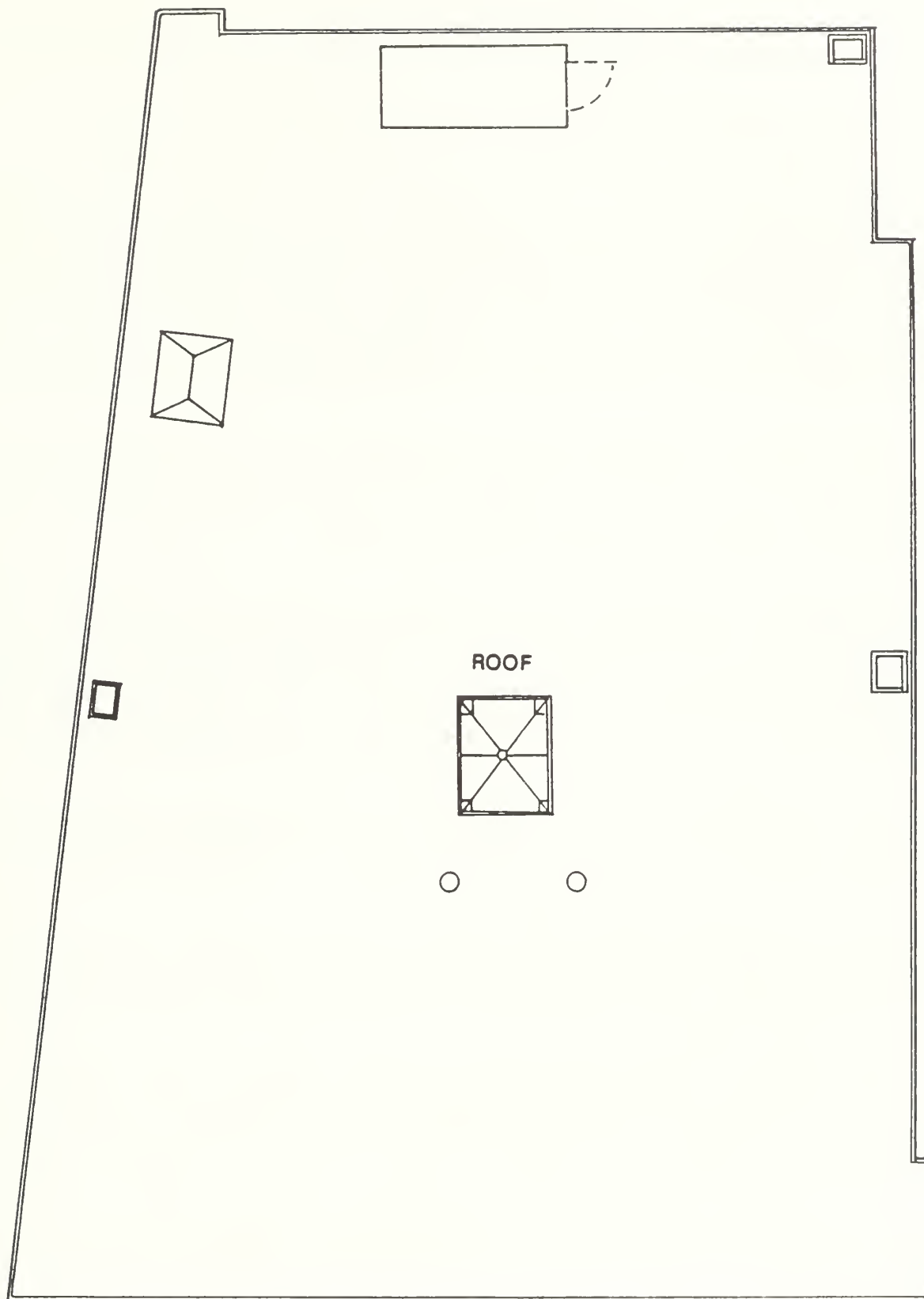


Figure 24. Polish Club building: roof plan.

INTERIOR ELEMENTS

General Information

The adaptive reuse proposal calls for extensive renovation of the interior. Consequently, some interior spaces are not described here in great depth. More information is provided for the first-story club room (Room 101) and the second-story reception hall (Room 201), because of the greater architectural distinction of their original appearance, and because of the historical use of the reception hall. While the third-story apartments are significant in terms of their historic use and architectural integrity, they are less significant in terms of architectural distinction. Some of the repetitive elements contained in these room are summarized; unusual or unique elements are described individually.

The present interior arrangement consists of 58 rooms, a number of which are the result of partitions erected in the 1960s and 1970s. Vertical circulation is provided by two stairwells, a front one in the southwest corner of the building, and a rear one along the north wall. There is also an interior stairway from the large basement room to the first story.

Original interior architectural fabric includes floors of birch, maple, and soft pine; walls generally clad with plaster and wainscot; plaster ceilings; and stairways consisting of wooden steps and balustrades. These reflect late Victorian influences. The balustrades and newels of the staircases are milled with modest decoration. The most distinctive room at present is the spacious reception hall. Although its stage was removed in the 1970s, it still retains its original tall windows and 1920s pressed-metal ceiling. The balance of the interior is plain and essentially utilitarian in design.

All of the window material appears to be original, with two exceptions. As explained previously, the small south-wall windows in the first-story club room date to ca. 1960, when they replaced the original storefront display windows.⁴ The sashes of the south-wall windows in the second-story reception hall were replaced in kind in the 1980s.

Later interior architectural fabric includes some floor carpeting. Ca.-1960s wall paneling has been added in the first-story club room and rear office, and in the second-story reception hall, cloak room, and hat check room. Later ceiling coverings include dropped ceilings in these same areas, except for the reception room.

Interior finishes consist primarily of paint applied over original surfaces. Wallpaper is extensively used on the third story. The only wallpaper on the lower stories is in the reception hall, in the second-story hall leading to the stairway to the third story, and in that stairway. This dates to the 1960s or 1970s.

The electrical system includes a mixture of fixtures from the 1920s and the 1960s; the third-story fixtures and outlets date entirely to the 1920s. Lighting fixtures include strip fluorescent lights,

⁴ Interview: Carden with John Sousa, Salem Maritime NHS, November 1988.

individual ceiling lights (some recessed), pendant globes, and emergency lights. Electrical service is 200 amps and 50 amps, with circuit breakers, BX wiring, and metal conduit.

The plumbing system also consists of a mixtures of fixtures. There are 12 toilet rooms. Those on the first and second stories date to 1947-1970; third-story fixtures date to 1909, and have been disconnected. Piping includes galvanized pipes and nonferrous (brass, copper, etc.) exposed pipes.

The remaining utility systems were probably installed in the 1960s when the most recent alterations of the building took place. The heating system uses oil-fired steam heat dispersed by cast-iron radiators on the first and second levels, and ceiling-hung radiators in the basement. The third story has three engaged and one disengaged radiators. There is central air conditioning in the basement and three built-in wall units in the first story (two in the club room and one in the rear office). There are no smoke or heat detectors.

Basement

Overview

The basement (fig. 25) contains 10 rooms. There is a large main room at the front (Room 001), and smaller rooms to the west and north that are used primarily for cooking, utility, and storage functions. The large room has four steel lally columns in the center of the floor. These date at least to 1938, as evident in a photograph of that year (fig. 14). All lighting in the basement is by incandescent ceiling fixtures.

Room 001 (Front Room)

Floor, Walls, and Ceiling

The floor is poured concrete that has been scored. The original plastered masonry walls are covered with wood paneling dating to the 1960s. Most of the room has a pressed-metal ceiling that is original; it displays the same design as the ceilings in the first story's recessed front entrances. The south end of the room has a dropped ceiling. Above the dropped ceiling can be seen the structural framing for the original light wells designed to bring daylight from the low street-level windows down into the basement. Apparently the first floor stopped short of the south wall, leaving openings for light to pass through. The openings would have been concealed by the display platforms above them on the first story. When the east display platform was removed in the 1960s, pieces of the platform were reused to floor over the opening here. The same was done to the west opening when the west display platform was rebuilt in the 1970s.

Doorways and Windows

The room's north wall has a doorway with two steps that leads to the raised back rooms of the basement. There are presently no windows in the large basement room. Bricked-in windows on the east wall are hidden behind the present wood paneling.

Stairway

In the southwest corner of the large room are is a straight stairway that originally led to the southern exterior doorway in the west (Palfrey Court) elevation. This doorway was boarded up and the stairway was closed off at the top in the 1960s.

Room 002 (Kitchen) and Room 003 (Toilet Room)

To the west of the large front room is a kitchen, probably original, but clearly remodeled between 1947 and the 1960s. The floor is poured concrete. The masonry walls are covered with plastic imitation-brick wall covering. An industrial-size Vulcan gas range sits in the southwest corner, while a modern double-bowl, stainless-steel sink is in the northwest corner. Also present are a refrigerator and a domestic hot-water heater.

North of the kitchen is a small toilet room. It has a poured-concrete floor and contains a single toilet. The toilet fixture dates to the ca.-1960's remodeling, but the toilet room itself may date to ca. 1947.

Rooms 004-007 (Back Rooms)

The back rooms of the basement are virtually unchanged from their original construction. These original rooms include:

- Room 004, a pass-through area;
- Room 005, a small room in the northwest corner that has a hatch in its ceiling, presumably for the conveyance of supplies to the basement;
- Room 006, the original furnace room in the northeast corner; and
- Room 007, a storage area.

They all have poured-concrete floors. A stairway ascending near the north wall is part of the building's rear stair hall. Room 006 has an open ceiling and exposed fieldstone foundation walls. It contains a one-pipe steam boiler, made by H.B. Smith and fired by oil, which is stored in two 275-gallon storage tanks.

Rooms 008 and 009 (Closets)

Along the east end of the north wall of Room 001 are two ca.-1960 closets. Within the east closet (Room 008) is the top portion of one of the two original center stairways to the first story (see Room 010, below). The bottom portion was cut off when the closet was created ca. 1960, to make room for the installation of a central air-conditioning unit here.

Room 010 (West Center Stairway)

The other original center stairway, just west of the first one, is still used and is now carpeted.

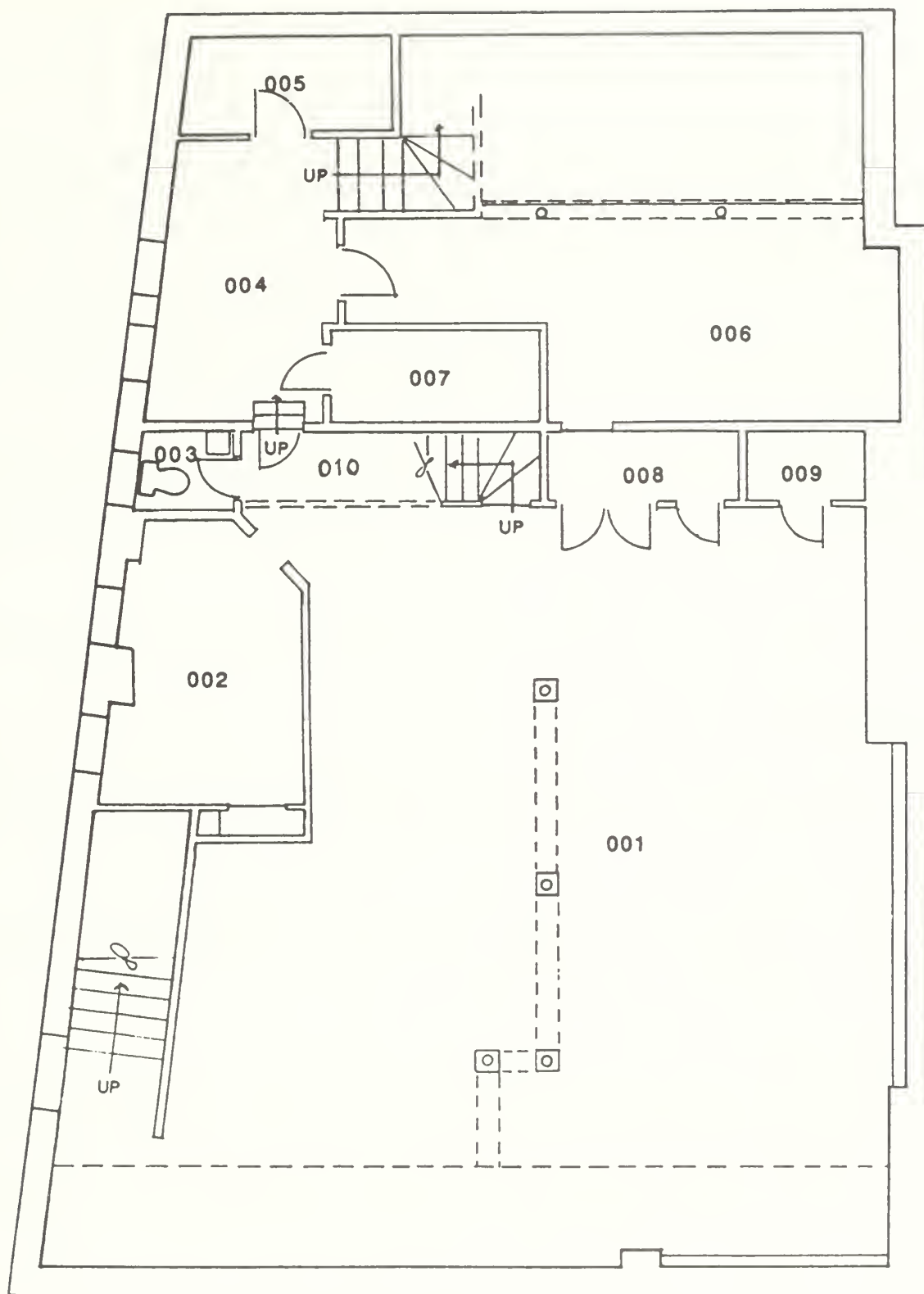


Figure 25. Polish Club building: basement floor plan.

First Story

Overview

The first story (fig. 26) consists of 14 rooms, primary among which is the large double club room (Room 101) at the front (south) end. The remainder of the story consists of stairways and smaller rooms to the west and north (rear) of Room 101. Between the club room and the rear rooms is an original interior stairway to the basement.

The first story has undergone two major periods of alteration—one in 1947 and one in the 1960s. The 1947 alteration was primarily interior in nature. The front store area was converted to the existing double club room, and the private bar function originally located in the rear area was moved to the new club room.

The second remodeling, in the 1960s, involved both the exterior and the interior. The large storefront display windows in the south wall were replaced with small, high windows, drastically altering the appearance of the club room. A number of partitions were erected in the rear area, subdividing the original space into three rooms (Rooms 107, 110, and 112).

Extensive use of modern wooden wall paneling has obscured most of the original painted surfaces, except in the stair halls. However, all original paint sequences exist behind the paneling.

Room 101 (Club Room)

Room 101, the club room, occupies virtually the entire front half of the first story. Physical investigation and documentary evidence indicate this space has always been a double room, divided by some kind of wall. The room has undergone two major alterations—in 1947 and in the 1960s.

As originally constructed, the front area was designed for retail use. It consisted of two rooms divided by a full-height wall that ran north-south down the center of the room, stopping short of the rear by several feet. The 1909 plan is illustrated in figure 9. This open space provided traffic flow from one side of the store to the other.

The south wall consisted of the storefront entrance and large display windows. The structural framework for the original entrance and windows remains underneath the extant paneling on the south wall. (See the subsequent section “Windows.”) On either side of the entrance, adjacent to the large windows, were display platforms 15 inches high. These corresponded in height to the exterior apron molding below the display windows. The west edge of the west platform was angled in order to provide access to the sliding window of the secondary front entrance. At the north end of the store were two adjacent stairways, one on the east and one on the west, both leading to the basement.

The men’s room on the west side of the club room is possibly original to 1909, although the fixtures are ca. 1947. On the west side was an exit to Palfrey Court (now closed), and two other small rooms, possibly including a fitting room for the store.

In 1947 the retail space was converted to a double club room, the west side for women and their escorts and the east side for men only, as shown in figure 15. The bar function was removed from the back room, and a new bar was constructed in the east (men's) side of the club room along the north wall. A closet and shelves were also built into this wall, and the east stairway to the basement was closed off. The north-south wall was changed to a half-wall or partition wall, retaining the open area at the back to pass from one side of the club room to the other. A women's toilet room was installed in one of the small rooms on the west side, and the men's toilet room received new fixtures. The front display windows and platforms were retained and dressed with short curtains on low brass rods. Doors were changed, according to the building permit, although there was no specification as to which doors. It is probable that, since the front windows were left unchanged, the entrance doors were unchanged also, and the above reference was to interior doors.

In the 1960s the club room was "modernized." The walls were covered with dark wood paneling, the ceiling was dropped, and the floor was carpeted. A new, larger bar replaced the former one at the rear of the room, and the segregation of men and women patrons ceased. New fixtures were installed in the west toilet room, and air-conditioning units were installed. The display windows were bricked up and small, high windows installed in their place; two aluminum entrance doors replaced the original storefront doors. The east display platform was removed, but the west one was retained.

Floor

The original wood floor exists in most of Room 101, now covered with carpeting. The floor in the southeast corner of the room was laid when the original east display platform was removed in the 1960s. The removal of the platform exposed the original east light well for the basement; as explained previously, boards from the removed platform were used to floor over the light-well opening all the way to the south wall. The west display platform was retained, but sometime in the 1970s it was rebuilt: the original angled west corner of the platform was filled in to meet the west wall.

The wood floor was left bare during the period of use by the men's store (1909-47) and during the first period of the club room (1947-60). After the 1960s remodeling and the removal of the east display platform, the entire floor was carpeted. It was carpeted once again after that time.

Walls

The walls of the 1909 storefront rooms were paint on plaster, and remained so through the first club room period (1947-60). Evidence above the existing dropped ceiling shows that the north-south partition wall was originally a full wall that stopped short of both the front and rear of the room. Evidence that it stopped short of the front wall was found on two vertical pipes discovered within one of the front support columns for the existing partition wall.

The ceiling beam above the north-south portion of the partition wall retains a narrow, pressed-metal cornice on both faces, under which exists plaster and fragments of plain brown paper (SAMA 14 W03) from the east and west faces of the beam (fig. 27). No other evidence of this wallpaper was found; the walls exhibit only a paint sequence, indicating it may have been part of a paper border applied only below the cornice. The soffit of this beam is grained, probably with the same finish as used on wainscoting in the 1947 scheme.

Vertical wood sheathing used to case the pipes on the south wall bears the 1909-47 paint series on the lower portion and both the 1909-47 and 1947-60 paint series on the upper portion, with ghosts of wainscoting on the lower portion.

In the 1947 alteration the north-south wall that divided the large room in two was converted to a partition wall; the soffit of the ceiling beam was varnished; the side faces of the beam, originally papered, were now painted, exhibiting a sequence similar to that on the plaster walls. The fact that the graining stops short of the south end indicates that portion of the original wall was not opened up for the 1947 alteration. Lally columns were installed from the partition wall to the ceiling. (These do not line up with the columns in the basement below.) Also at this time, the new partition wall was extended at right angles to abut the south front entrance wall.

In the 1960s the partition wall arrangement was retained and all parts were cased or paneled with the dark wood paneling that now covers all wall surfaces in the room. Three lally columns support the rear north-south portion of the partition wall, while the front support for this wall is composed of brick and mortar. Lath marks on the south face of the front brick and mortar support also reinforce the theory that this is the south (end) face of the original 1909 wall that divided the storefront into essentially two rooms. All these support columns are now cased in the modern wood paneling used throughout the club room.

Ceiling

The original (1909) ceiling, which exists above the present dropped ceiling, consists of a good-quality pressed metal in a quatrefoil and square pattern, with a narrow return cornice (fig. 28). Paint analysis reveals numerous layers of paint on the metal surface, indicating the ceiling was exposed for many years. This is substantiated by paint samples that show the metal ceiling to have about the same number of finish layers as the original plaster walls. The dropped ceiling of composition tile was installed in the 1960s; at the same time as the walls were paneled.

Woodwork

Most of the original woodwork was removed in the 1960s to accommodate the installation of wood paneling. The 1947 graining of the soffit of the ceiling beam over the partition wall is intact (see the preceding section "Walls"). A large piece of tongue-and-groove sheathing, installed over utility pipes, was exposed during the 1988 investigation of the south wall. The existing woodwork is plain wood strips, matching the wood paneling. Wood shelves were built into the wall behind the bar, either in 1947 or in the 1960s.

Doorways

There are six doorways. The two primary entrance doors in the south wall are aluminum-clad units dating to ca. 1960. The appearance of the original front entrance doors has been conjecturally recreated in figure 8. The framework of the original east doorways and transoms exists behind the east-wall paneling. Interior doors are hollow wood, grained to match the dark wall paneling.

Windows

There are eight high windows in the south wall: six on the east side and two on the west side of the front entrance. All of these exist in infill that replaced original storefront display windows here. It is possible, however, to deduce the size of the missing display windows. The 1988 investigation of the south wall revealed that the structural framework for these windows has survived. Also, the dimensions of the plates of glass are contained in an insurance policy for plate glass issued by Lloyds Casualty Company to the St. Joseph's Polish Roman Catholic Society in 1933. The policy lists the dimensions of the insured plates as follows:

<u>No. of Plates</u>	<u>Length in Inches</u>	<u>Width in Inches</u>	<u>Description/Location of Glass</u>
1	92	64	Front -160 Derby St., Salem, MA
2	92	55	Returns
2	32	26	Doors
2	94	73	Fronts

All other glass not insured.⁵

The dimensions of the insured plates correspond to the dimensions of the exposed framework, thus making it possible to recreate an image of the storefront windows and doors. The two plates designated for "Doors" correspond to the dimensions of the plate glass in the existing glazed panel of the secondary entrance door. This indicates that all three entrance doors were similar (if not identical) paneled wood panel doors with a glazed pane, as shown in figure 8.

On the basis of all evidence resulting from investigation of the exterior and interior south elevation, as well as documentary evidence, the storefront windows are concluded to have consisted of: (1) one west front window measuring approximately 64 inches wide and 92 inches tall; (2) two engaged east front windows approximately 73 inches wide and 94 inches tall; and (3) two return windows (one in each of the angled walls of the recessed entrance) measuring approximately 55 inches wide and 92 inches tall.

The above arrangement existed until the 1960s, at which time the large display windows were replaced with the existing small high windows. The original short windows in the east wall were closed up entirely.

Originally, there was one small window at the extreme south end of the west wall. As explained previously, it was used to survey persons entering the building through the secondary south-elevation doorway, and for collecting tickets when necessary. This window was covered over on the inside during the 1960s remodeling. However, it remained visible on the exterior side (see figure 18); removal of west-wall paneling during the investigation for this report uncovered both the window and its original hardware (fig. 29).

⁵ "Plate Glass Policy No. PG 555346, Lloyds Casualty Co., 75 Maiden Lane, New York, N.Y., [for] St. Joseph Polish Roman Catholic Soc., 160 Derby Street, Salem, Mass., 20th Dec., 1932" (see Appendix F3).

Finishes

The original wall finishes were paint on plaster, a scheme which was retained until the present wood paneling was installed in the 1960s. The metal ceiling received similar finishes treatment. Evidence exists of wainscoting installed a few years after the original construction. All wood trim, including the wainscoting, was removed in the 1960s to accommodate the present paneling; the woodwork finishes thus are unknown, except for the 1947 graining that survives on the soffit of the ceiling beam over the partition wall. This suggests an attempt to match the beam to other woodwork, indicating all woodwork was grained or varnished until 1960. Paint analysis reveals that 20-25 coats of paint were applied to the original walls and ceilings. The walls are now completely paneled with dark wood; the dropped ceiling is composition tile. Paint samples from the original floorboards reveal that they were simply varnished until carpeting was first laid in the 1960s. Decorative schemes are presented in the subsequent section "Summary Chronology, Room 101 (Club Room)."

Electrical System

Lighting is provided by recessed pool lights in the dropped ceiling. There are many outlets on all walls and a switch and fuse box on the east wall near the bar. Original lighting may have been gaslight, based on evidence of gas pipes in the room; such fixtures would probably have been electrified early in the 20th century. Electric ceiling fixtures similar to those extant in the second-story reception hall might possibly have been installed in the retail store in the 1920s. The combination of a pressed-metal ceiling and hanging bowl-shaped lighting fixtures was a popular combination for stores and large public rooms at that time.⁶ The display windows were undoubtedly lighted at least by the 1920s, when electric reflector lamps were used for shop windows.⁷

HVAC Equipment

Two ca.-1960 air conditioners sit in the south wall; a radiator is on each side of the room.

Room 102 (Front Stairway)

The front stairway consists of a straight stairway ascending from the secondary front entrance to the second-story stair hall (Room 202) and from there into the reception hall. Its design and materials are original. (See the subsequent section "Summary Chronology, Stair Halls and Corridors.")

Rooms 103 (Foyer) and 104-105 (Small Rooms)

All three of these original rooms are along the west wall. Room 103 is a small foyer that originally contained an exterior doorway for the front stairway to the basement. Rooms 104 and 105 are small rooms that may have served as dressing rooms for the retail store.

⁶ Cyril Sylvester and Thomas E. Ritchie, *Modern Electrical Illumination* (London: Longmans, Green and Co., Ltd., 1927), p. 92. Also Janet Marinelli, "Home Lighting: 1888-1930," *Old-House Journal*, Jan./Feb. 1989, pp. 34-39.

⁷ Sylvester and Ritchie, pp. 69-89.

Rooms 106 and 113 (Toilet Rooms)

Room 106 is also a small original room on the west side of the building. It was outfitted as a women's toilet room in 1947, when the club room was created. The west wall has one original window that was bricked up ca. 1960, except for a small opening at the top. The present fixtures date to the remodeling of the toilet room in the 1960s.

Room 113 is a men's toilet room at the northeast corner of Room 101, near the bar. It is thought to have been an original toilet room, accessible from both the front retail store and the rear bar area. Its east-wall window is completely bricked up; its current fixtures date to 1947.

Rooms 107 and 110-112

The area behind (north of) Room 101 has been used for an office since 1947. Prior to that time, it was occupied by a private bar for the Polish Club. The space was subdivided during the 1960s remodeling into three rooms. The largest, Room 110, is in the northeast corner; it received wall paneling and carpeting. Room 107, the next largest, is in the southwest corner of the back area. It has 1960s wall paneling and a plasterboard ceiling. The smallest, Room 112, lies along the south wall and is used for storage. All of the windows were infilled; a small opening was left at the top of the south window in the west wall of Room 107, and at the top of the west window in the north wall of Room 110. Also installed at this time were fluorescent tube lighting, an air-conditioning unit, and heat vents. Based on finishes and plumbing fixtures, the toilet room (Room 111) in the southeast corner of Room 110 was installed in the 1950s or '60s.

Room 109 (Back Room)

This room, in the northwest corner of the building, appears to have been a space for bringing in supplies, judging by the trap door in the floor. The walls of this room retain their original wood sheathing. The original round-arched exterior doorway in the west wall of this room was bricked in, probably between 1950-60—after the bar function was moved from the rear to the front of the first story. An adjacent, identical doorway exists in Room 114 (see below). The interior side of the doorway is currently covered with plasterboard, but the doorway frame is still visible. A metal plate covers the former semicircular transom opening above the door.

Room 114 (Rear Stairway)

This rear stairway can be accessed from the exterior by an original round-arched doorway. The doorway is original, although the present steel-clad exterior door was installed ca. 1960, and the former semicircular transom opening above the door has been infilled (fig. 30). The stairway itself leads to the second-story reception hall and third-story apartments. It is L-shaped, wrapping around two sides of Room 109.

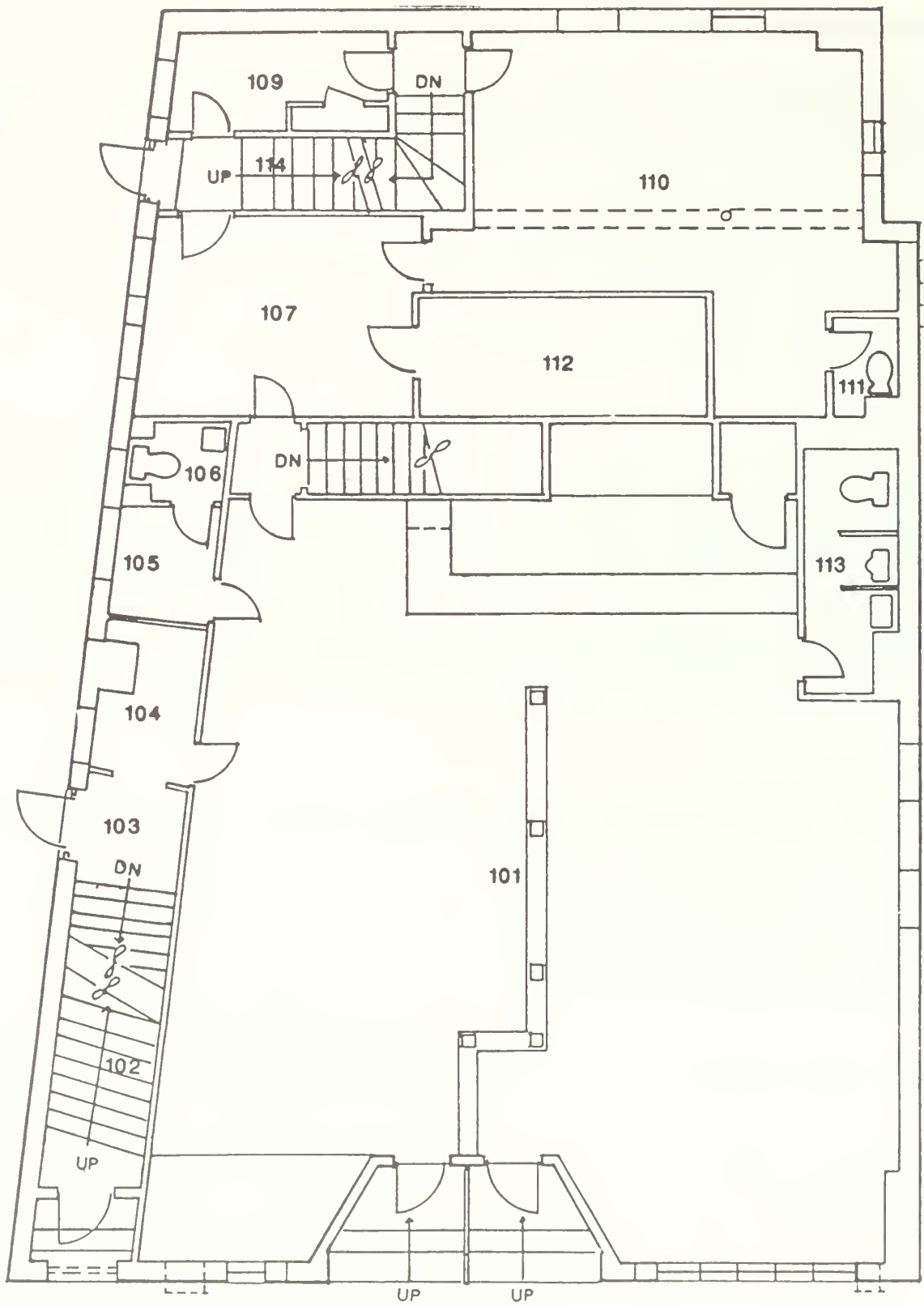


Figure 26. Polish Club building: first-floor plan.



Figure 27. Room 101 (Club Room), exposed beam.



Figure 28. Room 101, exposed pressed-metal ceiling.



Figure 29. Room 101, exposed ticket window.

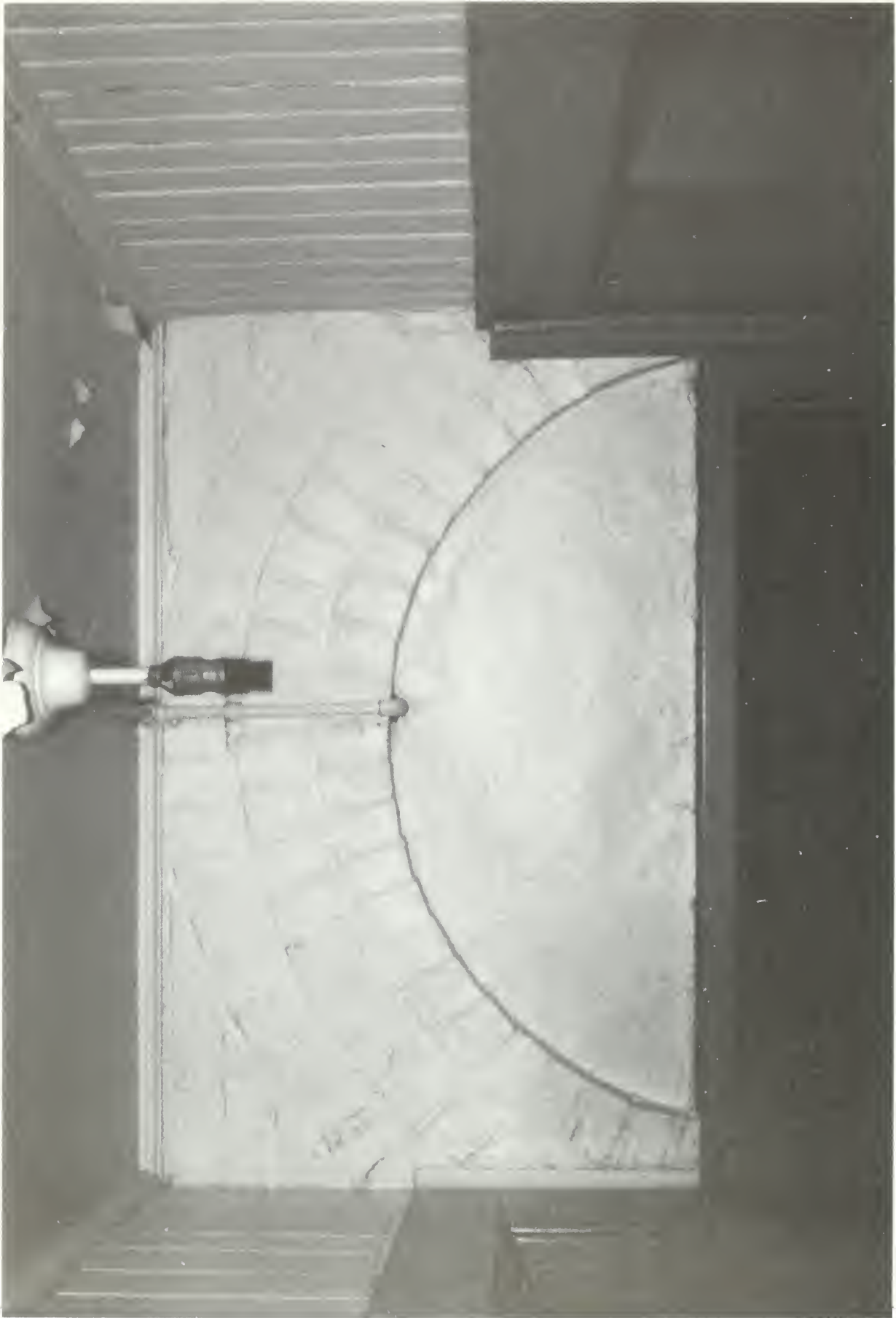


Figure 30. Room 114 (Rear Stairway), arched lintel of exterior doorway.

Second Story

Overview

The second story (fig. 31) consists basically of eight rooms. The space is dominated by Room 201, the large reception hall at the front. The remainder of the second story consists of the front and rear stair halls, a cloak room, and a hat-check room.

The only major changes to the second story took place in the 1970s, when the stage was removed from the reception hall, and when air conditioning and an additional toilet room were installed. All original and subsequent finishes remain in the front and rear stair halls and adjacent rooms. The reception hall retains evidence of some original finishes behind the modern wallpaper and paneling.

Room 201 (Reception Hall)

The reception hall is a large open space situated at the front of the second story, directly above the first-story club room. Unlike in the basement and first story, there are no columns to provide structural support for the floor above. Access to the reception hall is provided by front and rear stairways. Large windows on three sides provide ample daylight (fig. 32). The expanse of this large room is enhanced by a 16-foot-high ceiling.

The reception hall originally had a stage at its north end, flanked by east and west wings. This was confirmed by the 1988 structural and fabric investigations. The stage was removed in the ca. 1970s, creating the large alcove and open wings extant today (fig. 33). The original proscenium opening, said to have been rectangular, was changed to the existing arched opening. Also at that time, the southwest corner of the west wing was enclosed to make an additional toilet room.

Of significance as an artifact is the statue of St. Joseph, encased and mounted on the south wall (fig. 34).

Floor

The existing flooring of narrow, hardwood floorboards appears to be original, because of their direction—laid diagonally in the main room, and at right angles in the alcove. Figure 35, possibly taken in this room, shows diagonally laid floorboards, but of a darker color than the present finish. The existing light-colored finish appears to have been introduced when the room was renovated in the 1970s.

Walls

The basic configuration of the reception hall has changed little over the years. The primary change was the removal of the stage at the north end, and the erection of partition walls on either side. The arched proscenium separates the main room from the alcove remaining from the former stage area. Structural investigation of the north wall behind the modern paneling revealed the ghost of former steps on either side of the stage. On the wall can be seen the marcation of former risers,

indicating the stage floor was 4 feet above the floor of the room (fig. 36). Further investigation into the north wall and present partition walls revealed there were east and west wings adjacent to the stage. The lower part of these walls were removed, based on paint evidence on the wood trim. Additional evidence can be seen in the surface of the upper east wall of the west wing. The outline of a former stage door is faintly visible on the plaster. Based on this information, a conjectural pre-1970 floor plan was drawn (fig. 10). Boxing around the chimneys and utility pipes on the east and west walls was a post-construction addition, based on visual examination of the ceiling cornice.

Ceiling

The ceiling is covered with pressed-metal sheets and a coved cornice that are neoclassical in style (fig. 37). However, this is not the original ceiling in the room. The original plaster ceiling was uncovered above the metal ceiling during the architectural and engineering (A/E) investigation in October 1989. Evidence of ca.-1909 stencil painting exists on the portions of walls above the metal ceiling. It is thought that the tin ceiling was installed in the 1920s, when the existing electric-light fixtures were installed. The original plaster ceiling above the area of the former stage and wings remains intact on the west side; the alcove and east side have a dropped ceiling of white composition tiles. Both the pressed-metal and plaster ceilings have a paint sequence of 8-10 layers of white.

Woodwork

The woodwork in the reception hall consists of windows, doorways, trim, and wall paneling. The baseboard is plain wood strips placed over the modern wall paneling. There is a mix of window-frame styles. Evidence from paint analysis indicates the plain frames are original, while the molded frames with corner blocks are newer, probably dating to the 1970s renovation. The plain frame of the northwest window (tall window in the west wing, outside the men's room) appears to be original, based on a sequence of 8-10 paint layers (sample SAMA 14 P032), as opposed to the sequence of only two layers of brown finish from a molded window frame with corner block near the sink on the west wall (sample SAMA 14 P033). All woodwork finishes at present are either painted brown or consist of brown paneling.

Doorways

There are three doorways in the reception hall, comprised of the front double door and two rear exit doors. The east rear exit door was moved to the west, probably in the 1970s renovation, to allow for enlargement of the east toilet room. Evidence of this change exists on the north face of this doorway and adjacent baseboard in the cloak room. Other (interior) doors are recent additions associated with the 1970s renovation. These include the doorways to the wings and toilet rooms.

Windows

There are 14 windows in the reception hall, including the wings and toilet rooms. These are: three tall, double windows on the south wall; five tall, single windows on the east wall; one shorter window in the east toilet room, whose one-over-one sashes contain stippled glass; and five tall, single windows on the west wall. All tall windows have four-over-four sashes and transom lights. The sashes of the south windows are said to have been replaced in kind in recent years.

Finishes

The walls of the main part of Room 201 are presently wood-paneled to a height of approximately 7 feet, above which is two layers of wallpaper over patched plaster and paint. This scheme was presumably introduced when the stage was removed in the 1970s, with the present landscape pattern dating to recent years. The upper wall finishes in the wings are a sequence of 18-20 layers of paint on plaster. The present paint color is turquoise.

The 1988 investigation and analysis of finishes revealed that the original plaster walls had wainscoting on their lower areas, except in the stage area. Their middle and upper areas, and probably the ceiling, were painted and stenciled. A historic photograph of a group portrait shows such a scheme (fig. 35), although the room in which this photograph was taken has not been absolutely identified.

Due to areas of plaster patching, a precise sequence of wall finishes has not been identified. Tentative conclusions are as follows:

- the middle wall areas were painted turquoise-green, with a small star pattern stenciled on them in darker turquoise-green, black, and red (fig. 38); there are areas of plaster-patching and light blue overpainting.
- the upper wall areas were painted turquoise-green, then lime-green, then light blue. The ceiling was probably also light blue; both it and the upper walls had a green star-shaped leaf stenciled on them (fig. 39).

Electrical System

Lighting is by five hanging, incandescent ceiling light fixtures of ca. 1920 vintage in the main room and three modern recessed pool lights in the alcove (former stage area) ceiling. There are supplementary wall spot lights around the room. As in the front entrances and the club room, original lighting may have been gaslight, but electrified early in the century, and replaced by the existing fixtures in the 1920s (fig. 40).

HVAC Equipment

There are seven radiators in the reception hall and HVAC duct work through the upper walls of the east and west wings.

Other Features

At the north end of the west wall is a single-bowl stainless-steel sink in a wood stand (fig. 38).

Rooms 202 and 203 (Front Stair Hall and Stairway)

The second-story front stair hall consists of a small corridor (Room 202) that leads to an open, dog-leg stairway (Room 203) to the third-story apartments. The design and materials of both the corridor and the stair hall are original.

The finishes in Room 202—wood paneling, wallpaper, and paint—are contemporary with those in Rooms 102 and 201. There is a radiator on the west wall, and a can-type wall fixture and light switch on the north wall.

In Room 203, the handrail and balusters of the stairway are milled in a simple design; the newel and post are square; and the newel has a square and ovolo molding. The south wall of the landing has a tall double window (fig. 41) that is identical to the south windows in the reception hall. A single window with two-over-two sashes is at the third-story landing. The walls and ceiling are plaster; both the walls and the woodwork have a finishes sequence of approximately eight layers of paint.

Rooms 204 and 208 (Toilet Rooms)

The women's toilet room (Room 204) near the north end of the east wall of the room appears to be an original feature. It was updated in the 1970s renovation with the present modern pink fixtures, wallpaper, and dropped ceiling.

The men's toilet room (Room 205) near the north end of the west wall of the room appears to have been created in the 1970s.

Room 205 (Rear Stair Hall)

This room, in the northwest corner of the building, connects the rear stairway from the first story (Room 114) with the rear stairway to the second story (Room 209). It contains a tall window with four-over-four sashes and a transom in the west wall. The finishes correspond to those throughout the rear stairway from first to third stories, as well as to those of the front stair hall, having a sequence of approximately eight layers of paint. (See the subsequent section "Summary Chronologies of Major Spaces, Stair Halls and Corridors.") The design and materials of the stair hall are original.

Rooms 206 (Hat Check Room) and 207 (Cloak Room)

The hat-check room is a small, narrow room with a high ceiling, situated along the north wall of the second story. There is a window in the north wall, and a small interior window in the south wall that looks out to the rear stair hall. Shelves for holding hats are built onto the north, south, and west walls. All fabric and finishes appear to be original and intact.

Adjacent to the hat-check room is the cloak room, in the far northeast corner of the building. This room also has a high ceiling, which has been used to route duct work into the reception hall. The south-wall doorway that leads to the reception hall was moved a short distance to the west, presumably in the 1970s when the reception hall was renovated. (See the previous section “Room 201, Doorways.”) A doorway in the west wall leads to the rear stair hall.

Room 209 (Rear Stairway)

The rear stairway is open to Room 205. The millwork of the staircase is similar to that of the front stairway, except for the newel, which is round. The upper walls are paint on plaster; lower walls have wainscoting. The finishes correspond to those throughout the rear stairway from first to third stories, as well as to those of the front stairway, having a sequence of approximately eight layers of paint. (See the subsequent section “Summary Chronologies of Major Spaces, Stair Halls and Corridors.”) The design and materials of the stairway are original.

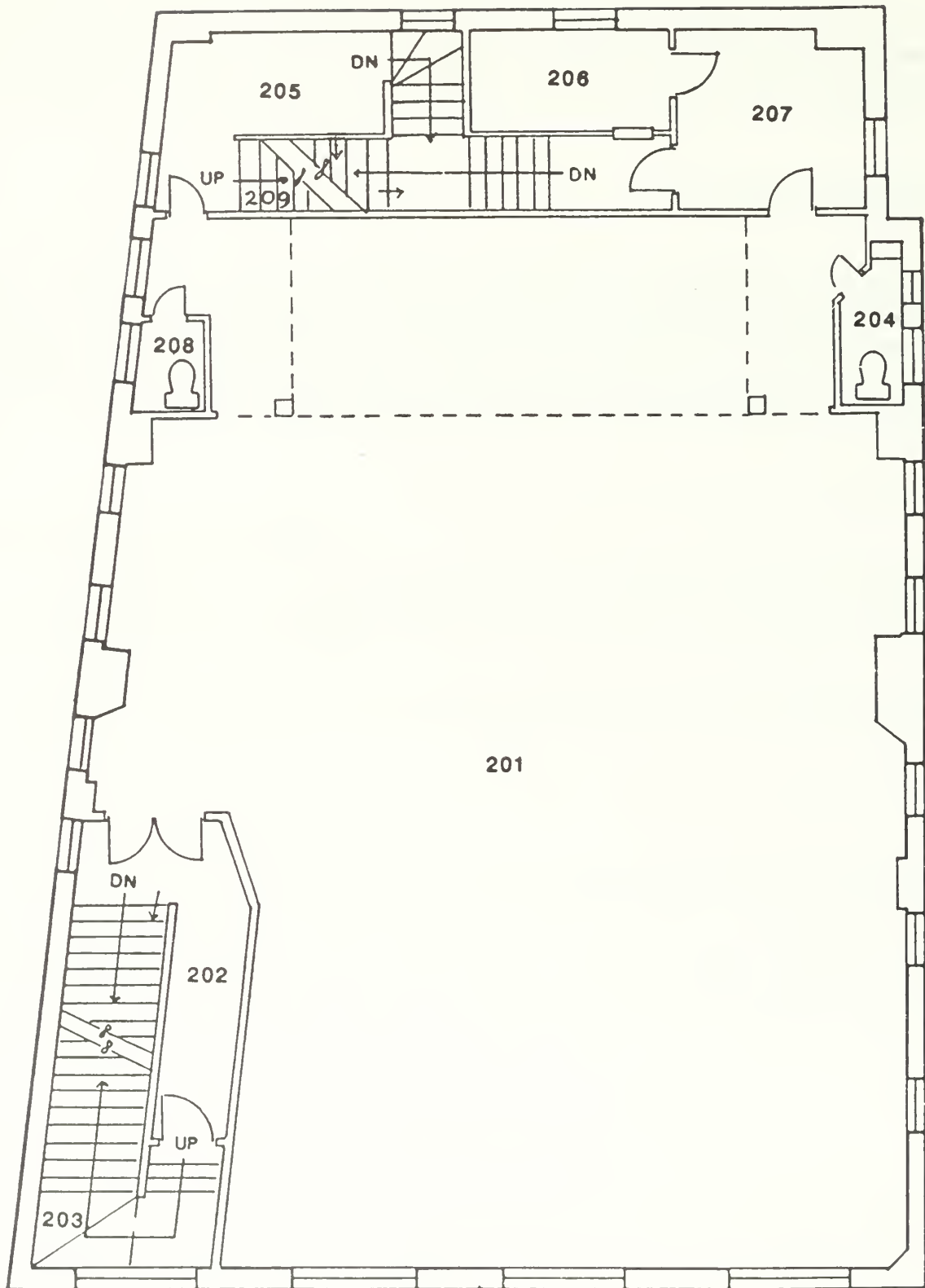


Figure 31. Polish Club building: second-floor plan.



Figure 32. Room 201 (Reception Hall), looking south.



Figure 33. Room 201, looking north.



Figure 34. Room 201, south wall, statue of St. Joseph.



TOW. SW. JOZEFA NR. 604
SALEM, MASS. 1946

Figure 35. Anonymous group portrait, 1946.



Figure 36. Room 201, ghost of stage steps.



Figure 37. Room 201, detail, ceiling and coved cornice.



Figure 38. Room 201, west wall, exposed area showing fragment of original wall stenciling.



Figure 39. Room 201, stencil painting on upper east wall above metal ceiling.



Figure 40. Room 201, detail of ceiling and lighting fixture.



Figure 41. Room 203 (Front Stair Hall), stairway from second to third story, looking down to first landing.

Third Story

Overview

The third story (fig. 42) consists of an L-shaped corridor and 12 rooms. For convenience in reference, the rooms are divided into “apartments,” the basis for which is the existence of independent plumbing and/or cooking facilities and connecting rooms. Unconnected rooms with few or no facilities are simply designated as “rooms.” All except Rooms 302, 308, and 309 open directly to the corridor. The corridor and the apartment units appear to be essentially intact as built, with few changes.

Woodwork, as on the second story, is a mix of plain and molded styles. All doorways have saddled thresholds. Some doors appear to be reused. Large windows with two-over-two sashes in all rooms provide an abundant amount of daylight. Sashes in toilet-room windows have stippled glass.

Electrical service appears to date to the early 20th century. There are piped gas outlets near many of the ceiling fixtures, indicating that the electric lights were preceded by gaslights. As in Room 201 (second-story Reception Hall), the existing electric fixtures appear to be the first ones installed, ca. 1920. The fact that none of these bare amenities has been modernized, and the plain decor of the rooms, indicate a strictly functional use of the apartments.

Plumbing fixtures are undoubtedly original to 1909, based on the design of the kitchen sinks and water closets with overhead tanks.⁸ There are no bathtubs. Heat is provided by radiators in all rooms. There are boxed flues in both kitchens. Telephone wires and outlets remain in many of the rooms.

Paint analysis reveals a finishes sequence in all room of approximately 25-30 layers of paint, indicating these rooms received more steady use than any others throughout the building. The need for such relatively frequent refurbishing also indicates the rooms were crowded with many occupants at any given time.

Bare wood floors, some painted, have area floor coverings of linoleum. Newspapers dating to 1963 were found under all these pieces of linoleum, indicating that the last redecorating of the apartment units took place in 1963.

All ceilings and many walls are plastered and painted; toilets and kitchens have wainscoting. The walls in rooms that seem to have been used as bedrooms or living rooms are covered with several layers of wallpaper and paint, thus providing a full sequence of finishes. One kitchen has painted wood graining as a finish.

⁸ R.M. Starbuck, *Standard Practical Plumbing* (New York: The Norman W. Henley Publishing Co., 1911), pp. 163, 211.

Rooms 302, 303, and 305 (Apartment C)

These west-side rooms include a kitchen (Room 303), a toilet room (Room 305), and a bedroom/living room (Room 302). A special feature of the kitchen is a unique, excellent, intact example of wood-grain painting on the cupboards (fig. 44) and wainscoting. According to paint analysis, this graining is an original decorative treatment, having been redone three times (paint sample SAMA 14 P038).

Room 304

This is a single, large, L-shaped room in the northwest corner of the building. A sink, which appears to have been added after 1909, is adjacent to a boxed ventilation shaft in the southwest corner of the room. A freestanding wood cabinet stands at the north end of the east wall. A glass-front wood cabinet standing in the corner appears to have been removed from the east wall. These two pieces and the sink indicate that this room was adapted for a type of efficiency apartment, although there is no toilet.

Rooms 306 and 314 (Apartment A)

Apartment A consists of a large room (Room 306) in the northeast of the building and a separate toilet room (Room 314). There is a sink along the east wall of Room 306. A china cabinet at the south wall's west end covers the infill of a former doorway to Room 307 in Apartment B.

Rooms 307-310 and 313 (Apartment B)

The largest of the units is located along the east side and in the southeast corner of the third story. Apartment B consists of a kitchen (Room 307), toilet room (Room 313), and three connecting bedroom/living rooms (Rooms 308-310), all with closets. The overhead tank in the toilet is missing. On the west end of the north wall of the kitchen can be seen the outline of a former doorway leading to Apartment A (see "Room 306," above). On the walls of Rooms 308, 309, and 310 are alternating layers of wallpaper and paint, providing a sequence of finishes representative of the appearance of these rooms from 1909 to the present. The doorway between Rooms 308 and 309 appears to be a post-1909 addition, and exhibits both structural and paint failure. The southeast corner of Room 309 is clipped. The closet door of Room 310 has a glazed upper panel, indicating that the door may be reused.

Room 311 (South Room)

This single room with closet is distinguished only by its ceiling light fixture (fig. 45). This ornamental electric lighting fixture has three shades hanging down by chains; this design, dating to ca. 1920, is called a "shower fixture."⁹ The reason why this particular room had such a decorative ceiling light is not known.

⁹ "Buying Period Lighting," *The Old-House Journal*, Jan./Feb. 1989, p. 41; also Marinelli, p. 36.

Room 312 (Southwest Room)

This small, L-shaped room with closet is in the southwest corner of the third story. Having both a south and a west window, there is ample light and exposure.

Room 315 (Corridor) and Room 316 (Rear Hall)

The L-shaped Corridor (Room 315) consists of a center hallway running north-south, and a shorter hallway at the south end running west. The rear (north end) of the central hallway is separated from the rest of the hallway by a doorway to form a rear hall (Room 316). The rear hall connects the corridor to the rear rooms (304 and 306), to the stairway from the second story, and to the attic. The southwest hallway leads to a doorway with a paneled and glazed wooden door that opens to the front stairway (Room 203). This door appears to have been reused; it was probably installed to retain heat on the third story, as well as for identifying visitors through the glass panels.

All parts of the corridor retain their original design and materials, which include bare wood floors and plaster walls and ceilings. The central hallway has wainscoting; the southwest hallway has none. A special feature of the central hallway is the light shaft and leaded skylight in its ceiling (fig. 43).

Attic

A doorway in the west wall of the rear hall opens to a short, winding stairway that leads to the attic crawl space and further on to the roof.

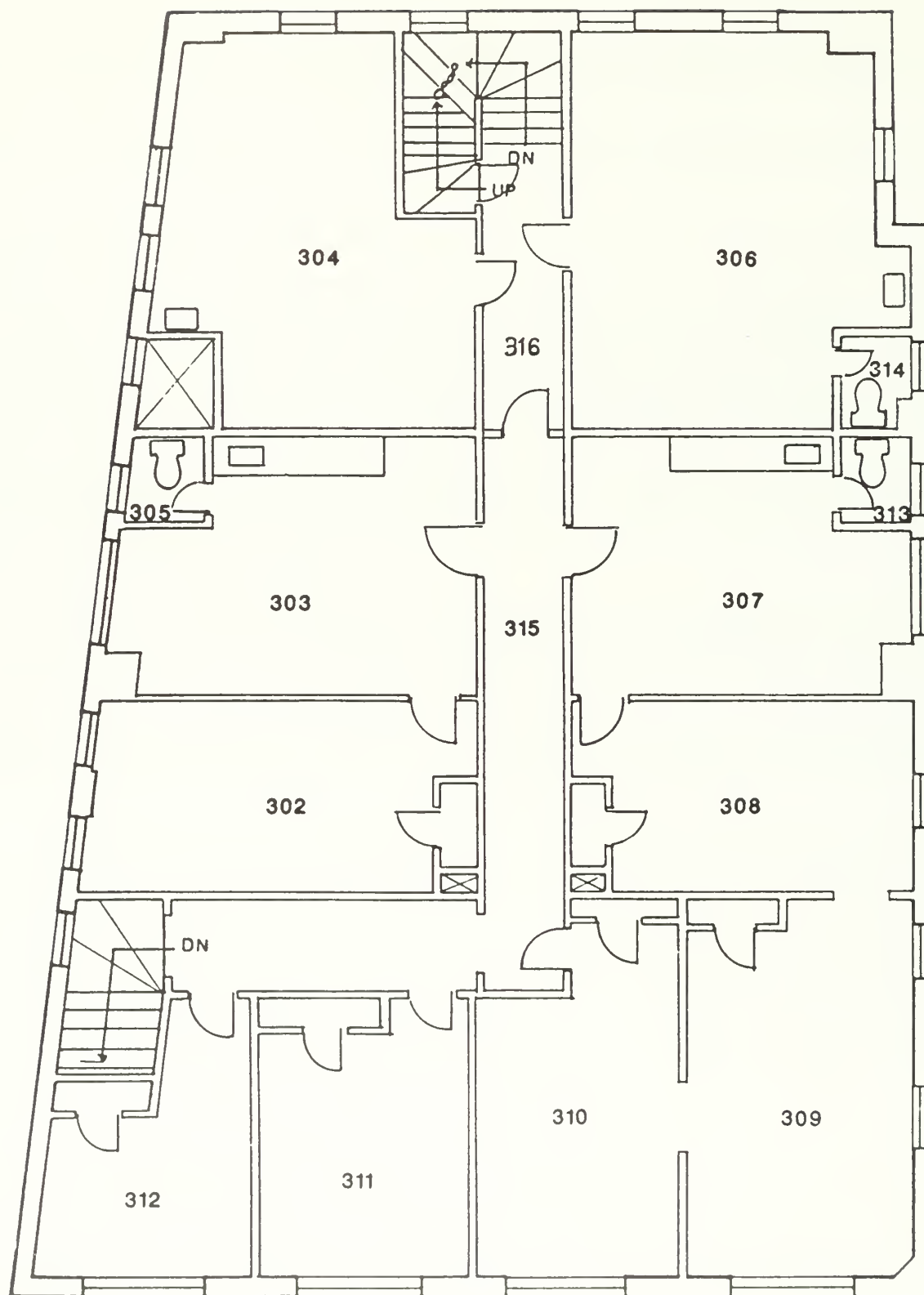


Figure 42. Polish Club building: third-floor plan.

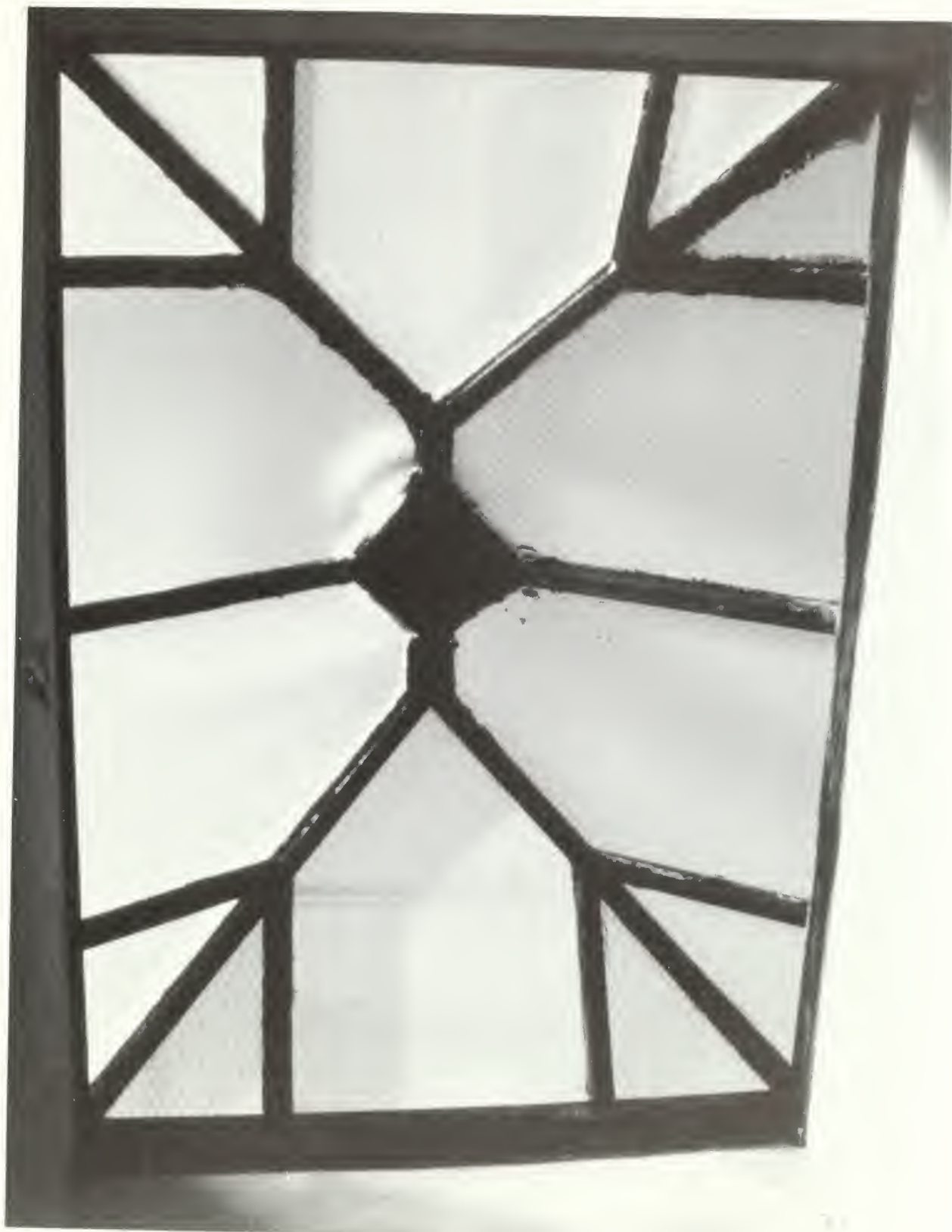


Figure 43. Room 315 (Corridor), light shaft and skylight.

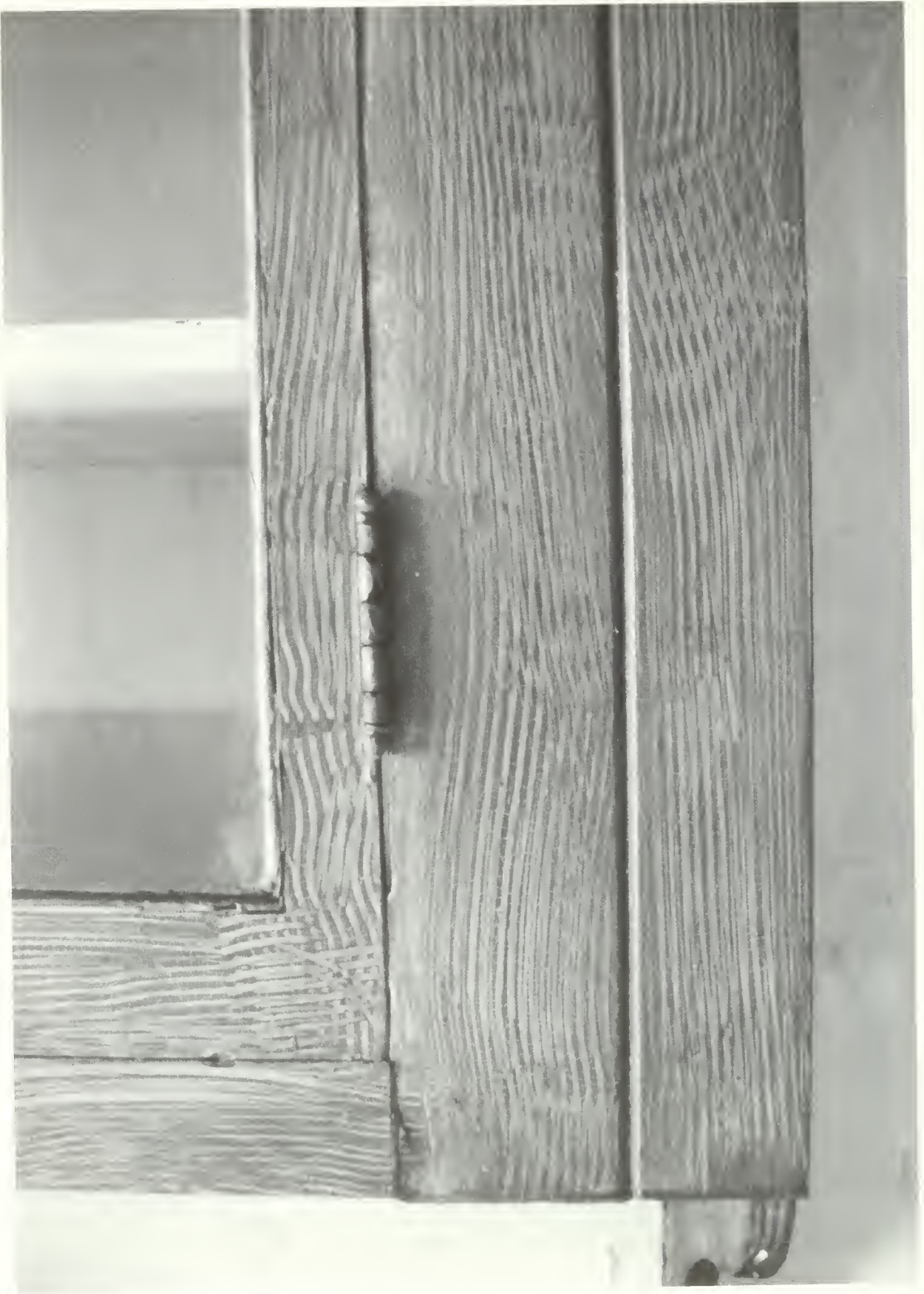


Figure 44. Room 303 (Kitchen), grain-painting on kitchen cabinet, north wall.



Figure 45. Room 311 (South Room), ceiling light fixture.

Summary Chronology, Room 101 (Club Room)

<u>Date</u>	<u>Floor</u>	<u>Walls</u>	<u>Ceiling</u>	<u>Woodwork</u>	<u>Windows</u>	<u>Doors</u>	<u>Lighting</u>
1909	Storefront: two rooms separated by full partition wall; traffic flow at rear, with east and west stairways to basement.						
	wood, varnished brown	plaster, painted cream	pressed metal, painted cream	wood, varnished brown	storefront	two glazed, wood panel varnished br.	gasoliers
1920s	same	pearl white	pearl white	same	same	same	electric, hanging fixtures
1947	Club room: two rooms separated by half partition wall; traffic flow/bar at rear; east center stairway closed, closet installed at east end. Present electric box dates at least to 1947.						
	same	pale rose	pale rose	same	same; east windows bricked up	same	same
1960s	Club room: lower partition wall and supports boxed in; bar replaced by larger one; east platform removed; west toilet room redecorated; walls paneled; ceiling dropped.						
	red carpeting (brown, later)	dark paneling	dropped, white, cork tile	brown, strip	high, small front windows	aluminum	recessed pool lights

Summary Chronology, Room 201 (Reception Hall)

<u>Date</u>	<u>Floor</u>	<u>Walls</u>	<u>Ceiling</u>	<u>Woodwork</u>	<u>Windows</u>	<u>Doors</u>	<u>Lighting</u>
1909	Stage existed at north end of Reception Hall.						
	varnished	lower: plaster painted tur- quoise/lt. blue and stenciled; upper: lt. blue, green stencil	plaster painted same as upper walls	painted green, including wainscot	tall, 4/4 w/transom	front double, two rear	gasoliers
1920s	same	lime green	same	lime green	same	same	electric, hanging fixtures
1947	same	wallpapered; wings painted lt. blue	same	brown	same	same	same
1970s	Stage removed; west toilet room added, east toilet room remodeled						
	refinished light color	repapered with landscape pat- tern; wings painted turquoise	same paneled	same	south sashes replaced in kind to west	east rear door moved	same

Hat check and cloak rooms had the same color scheme as the stage wings until the 1970s, when their walls were painted a sand color.

Summary Chronology, Stair Halls and Corridors

<u>Date</u>	<u>Floors & Steps</u>	<u>Walls</u>	<u>Ceiling</u>	<u>Woodwork & Balustrades</u>	<u>Windows</u>	<u>Doors</u>	<u>Lighting</u>
1909	brown varnish or paint cream	front & 3rd story green; rear	white	brown varnish	brown varnish	brown varnish	gaslight
1920s	same	green	cream or white	brown varnish or graining	brown varnish or graining	brown varnish or graining	electric
1947	same	lower stories lt. blue; upper stories lt. green	white	same	same	same	same
1960 - 1970s	same	lower stories: front, buff & paper; rear, lt. blue. upper stories: front, green; rear, lt. blue. 3rd-story corridor buff	white	same	same	same fixtures near Room 201	new electric
		102 - stair hall finished to harmonize w/Reception Hall					

IV. RECOMMENDATIONS

The following summary of existing conditions describes the building as it existed during the investigation of November 1988. Recommendations are made primarily to preserve those elements or features identified by this researcher as “character-defining features” (CDFs). These are those materials, features, and spaces that give the building its character and tangible elements associated with historic events or persons.

Restoration is recommended if there is a good reason to restore, i.e., for interpretation. An interpretive period for the structure has not been established; however, in the event that one may be established, recommendations for restoration are for the 1909-20 period, between the date of construction and that of the installation of electric lighting.

An alternative to restoration is rehabilitation for adaptive reuse, following the Secretary of the Interior’s Standards for such work. Remaining original fabric would be retained wherever possible, even if it was necessary to conceal it by such methods as furring out walls, installing suspended ceilings below original ones, and laying new flooring over original flooring.

CHARACTER-DEFINING FEATURES

General Information

The Polish Club building exhibits numerous features that can be described as “character-defining.” These features derive from both architectural design and historical usage. The “character-defining features” listed here are based on the research performed for this historic structure report.

The interrelation between design and usage is one of the Polish Club building’s most prominent features. This interrelation is evident in the overall spatial arrangement of not only the interior, but also the exterior, particularly the south (facade) elevation and the west elevation. Existing conditions at the Polish Club building, for the most part, still reflect its original design and usage in both exterior and interior. This is particularly true of the front and rear stair halls, the second-story reception hall, and the third-story living quarters. The first story, while more extensively altered in recent years, has always contained a business (originally a retail store, more recently a club room). Design elements that reflect these uses include the doorways and windows of the south and west sides of the building.

It is recommended that this union of historic design and usage be retained as much as possible in the adaptive-use program for the Polish Club building. It should reflect the cultural milieu from which the building originated, and particularly its role as a gathering place, living quarters, and source of spiritual and financial support for Salem’s early Polish community.

Exterior Elements

Overview

The exterior of the Polish Club building exhibits both original features and “ghosts” of original features. A unique aspect of the exterior is that there is enough evidence of the original design from which to create a facsimile or suggestion of the original appearance. Because the original storefront business brought revenue into the Polish Club, and because the storefront was a prominent design feature, restoration or a suggestion of this design on the south elevation is recommended if there is a need required by the proposed reuse of the building.

A particularly important overall feature is the southwest corner of the structure, visible when approached from the west along Derby Street. The features that visually unify the south and west elevations here are the arched doorway and fenestration designs. It is recommended that no further alterations be made that would destroy the architectural integrity of the south and west sides of the building. If new openings are required for the adaptive-reuse program, it is recommended that the rear of the building be investigated for this purpose.

South (Derby Street) Elevation

The following features are integral to the southwest corner of the building, an important overall feature discussed previously:

1. the ghost of the original storefront, including the locations and size of the original display windows and the primary entrance. The storefront was a prominent architectural feature of the original facade.
2. the recessed original secondary entrance. This includes the only extant original exterior door, and an original sliding window (boarded over) in the east-wall paneling of the recessed doorway, for identification of visitors.
3. the original cornices for the storefront and the roof.
4. two flag poles at second-story level, and the plaque at third-story level, which reads "1909 - St. Joseph Hall."

West (Palfrey Court) Elevation

The following features are also integral to the southwest corner of the building, discussed previously:

1. the three arched doorways in the first story, visually relating to the arched secondary entrance on the south elevation. These doorways were used for transporting goods into the building, for food-service catering, and for entrance of tenants going to the third story.
2. the fenestration at second- and third-story levels, which is visually related to that of the south elevation, in that it is a continuation of the same pattern.

Other Features

Other character-defining features of the Polish Club building include:

1. the placement and flush lintels of extant original windows (all windows except for those on the first-story south elevation), and of the ghosts of infilled original windows.
2. the brick siding and wood trim, most of which is original.
3. the sign frame at the south end of the west elevation, at the height of the storefront cornice.
4. the original roof vents—two circular and one rectangular.

Interior Elements

Overview

Some of the features cited below are obviously less character-defining than others, particularly in their present state. However, they may be of cultural if not architectural significance, and it might be possible to preserve selected small areas for exhibition. In any case, it might be advisable to make note of them for future reference about the history of the building. It is recommended that those spaces having the most character-defining features be considered for adaptive use without significant alteration.

Basement

The large front room (Room 001) and the Kitchen (Room 002) have historical significance that derives from their usage during the Polish Club era. Particular character-defining features at this level include:

Room 001

1. the south-wall window wells (bricked in); evidence is visible above the false ceiling at the south end of the room.
2. the pressed-metal ceiling, which is significant primarily for being original and identical to those of the front entrance ceilings.

Other Areas

1. the back rooms, which are in their original condition.
2. the intact, original east center stairway to first story, concealed in closet (Room 008).
4. the pull-down trap door in the ceiling of Room 005.

First Story

Room 101

This large front room is significant for its interrelation between design and use; furthermore, it is both visually and structurally related to the exterior facade. Character-defining features thus include:

1. the evidence of the structural framework for the plate-glass storefront windows, visible behind the present paneling on the south wall.
2. the pressed-metal ceiling, visible above the false ceiling.

3. the raised platform at the west end of the south wall, which was originally used for mounting window displays; more recently it has served as a small bandstand. There is evidence of a similar platform at the east side of room.
4. the small, sliding window at the south end of the west wall, visible behind the present paneling. This was historically used for identification of visitors and for taking tickets.

Other Areas

Character-defining features outside Room 101 include:

1. the bricked-in tops of the arched doorways at the north end of the west elevation, first story (to Palfrey Court).
2. the trap door in the floor of Room 109, in the northwest corner of the building.

Second Story

The spatial arrangement of this level is significant, showing the traffic flow to the large reception hall and to the third-story living quarters. This arrangement reflects the historic use of the space, as well as the basis for its design.

Room 201

Like Room 101, this large front room is significant for its interrelation between design and use, and for its relation to the exterior facade. Character-defining features thus include:

1. the large, open space, which is the most significant feature of the second story.
2. the 1920s pressed-metal ceiling and cornice, in excellent condition.
3. the original 1920s hanging electric-light fixtures, representative of a style of the period.
4. the tall-window design and placement, which is (a) original; (b) indicative of the spaciousness of the room, (c) integral to the exterior appearance of the south and west elevations; and (d) an excellent source of daylight. All sashes are original or replacements in kind.
5. the evidence for the former stage at the north end. This evidence includes the marks of the stage steps on the north wall, the direction of the floorboards in the existing alcove, and the proscenium arch.
6. the evidence of original wall stenciling (a small green star pattern), uncovered on the extreme west end of the later north partition wall (near the sink). Although plaster patching and repainting obscures much of the stenciling, there is enough remaining to justify preserving the plaster in this room.

7. the statue of St. Joseph, mounted on south wall, for whom the society and the hall were named. The wood case was carved by a member of the society.
8. the plaque on the upper west partition wall, north side, that reads "It is the most beautiful of all loves - the love of God and country," printed by a member of the society.

Other Areas

Character-defining features outside Room 201 include:

1. the rear hat-check and cloak rooms (Rooms 206 and 207, respectively). The shelving and Room 206's interior window illustrate the use of these rooms.
2. the large, open front and rear staircases (Rooms 203 and 205). The millwork of these features (balustrades and newels) constitutes the only ornamented woodwork in the building. Also, these stair halls indicate the traffic patterns related to the historic functions of the second- and third-story rooms.

Third Story

This virtually intact living space was occupied by Polish immigrants as temporary housing from 1909 until the late 1960s. Rows of small, interconnected rooms along the central corridor indicate these spaces were designed for functional, family-type use. These units reflect cultural history, and contribute to the architectural integrity of the building. Character-defining features include:

1. the original light shaft and leaded skylight in the central corridor.
2. all of the windows, which are original and intact. Along with the light shaft, these provide an excellent source of natural light.
3. the original plumbing fixtures in the toilet rooms, which are representative of a style of the period; the fixtures in Room 306 are complete.
4. the grain-painted woodwork and cabinets in Room 303 (Kitchen), unique to this room. The top layer is the final coat in a sequence of graining dating back to the construction of the building.
5. the electric ceiling-light fixture in Room 311, which is representative of the "shower"-style fixture of the 1920s.

GENERAL RECOMMENDATIONS

Exterior Elements

South (Facade) Elevation

It is recommended to restore the storefront if there is good reason to do so, i.e., for interpretation. Figures 8, 19, and 20 illustrate the historic appearance of the south elevation.

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Configuration	Rectangular; three stories; modernized primary entrance; original secondary entrance retained. This is the only extant 1909 door.	Restore storefront and primary entrance. Retain secondary entrance and wood-panel door; reopen transom light over the door.
Foundation	Low; rough granite.	
Siding	Red brick; recess of primary entrance - brown shingles, ca. 1960s; secondary entrance - east wall is original wood paneling; west wall is original brick siding. Brick and mortar of display-window infill does not match original brick siding.	Remove shingles and brick infill; replace broken brick to match original, using mortar mix in Appendix A2; use technique to match existing mortar technique.
Doorways	Primary entrance: two aluminum doors. Secondary entrance: original glazed wood panel door. Iron gate across brick opening.	Replace or recreate primary entrance doors to match original secondary entrance.
Fenestration	First story: primary entrance windows bricked in, leaving small high windows. Second story: tall, paired 4/4 double-hung sashes w/transom, replaced in kind, 1980s. Third story: paired 2/2 double-hung sashes.	Open up and replace original storefront window design.

Porches	<p>Primary entrance: pressed-metal ceiling, deteriorated; wood deck & steps carpeted.</p> <p>Secondary entrance: original fabric, good condition.</p>	<p>Replace ceiling in kind; remove carpeting.</p> <p>Retain secondary entrance.</p>
Stairways	One granite step comprised of foundation slab; two wood steps, both entrances.	
Roof	Flat, asphalt and gravel; two roof vents at center of roof, another at west side.	
Gutters	No downspouts.	
Chimney	One chimney, south front; brick with stucco coating.	
Finishes	<p>First story: primary entrance window and door trim painted white, secondary entrance wood trim painted gray. Upper-story window trim painted white.</p>	<p>Restore storefront; repaint wood trim according to paint analysis (Appendix A1).</p>
Electrical	<p>Primary entrance: electric downlights, ca. 1960s.</p> <p>Secondary entrance: capped gaslight pipe.</p> <p>Utility wires leading to southeast corner.</p>	<p>Replace with ca. 1920s-style hanging electric fixtures for exterior foyers.</p>
Other	<p>Original 1909 shop front cornice and roof cornice.</p> <p>Two flag poles attached at second-story level.</p> <p>Plaque reading "1909 St. Joseph Hall."</p> <p>Projecting sign at front entrance reading "St. Joseph's Polish Club," removed in July 1989.</p>	Retain these features.

West Elevation

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Configuration	Rectangular; three stories.	
Foundation	None visible; asphalt patching where brick wall meets sidewalk; erosion at south front corner.	Repair with brick and mortar to match original. See Appendix A2.
Siding	Red brick; the brick window infill and mortar do not match the original brick siding.	
Doorways	Three: two north doorways are identical and fully arched; south door is shorter and segmentally arched; all have deep reveals and triple rowlock, flush brick lintels. Far north doorway is infilled; near north door is steel clad exit door; south doorway is boarded up. All have one granite step.	Retain arched doorways; open north doorway.
Fenestration	Five bricked-in basement windows; five infilled first-story windows; seven tall windows with 4/4 double-hung sashes on the second story; and eight single and one pair of windows with 2/2 double-hung sashes on the third story. Total: 26.	
Roof	Flat, asphalt and gravel; roof vent at west edge.	
Gutters	No downspouts.	
Chimney	One at center edge; brick with stucco coating.	
Finishes	Windows: white trim. Doors: grey.	Repaint with historic colors. See Appendix A1.
Electrical	Utility wires leading to roof.	
Other	Sign frame at south end of elevation, at height of storefront cornice.	

North Elevation

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Configuration	Rectangular; three stories.	
Foundation	None visible; bricks meet asphalt driveway.	
Siding	Red brick; upper bricks loosening; lower three courses discolored and eroded. Brick infill does not match siding.	Repoint.
Fenestration	Irregular - nine windows. First story: two east are bricked in to grade; near east has transom with horizontal bars. Second story: three windows with 2/2 double-hung sashes; near west window is lower. Third story: four windows with 1/1 double-hung sashes; near west window is lower.	
Roof	Flat, asphalt and gravel. Shed at east end center contains access stairway to attic and rooftop.	
Gutters	No downspouts.	
Chimney	One at north end of east elevation (see below).	
Finishes	Window trim: painted white.	
Electrical	No exterior lights. Utility wires leading to northeast corner.	Repaint with historic colors (see Appendix A).
Other	Oil pipes and vent at east end.	

East Elevation

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Configuration	Rectangular; three stories; wall steps back at north end.	
Foundation	None visible; bricks meet concrete alleyway; at north end is a granite slab that approaches the steps.	
Siding	Red brick; window infill does not match original siding.	
Fenestration	19 windows; basement and first-story windows irregular. Basement: two at north end, bricked in, northerly one has screened opening. First story: two full size bricked in, north end, far north has AC unit in upper window; two short at south end, bricked in. Second story: five tall windows with 4/4 double-hung sashes w/transom; north end, one short 2/2; far north end, a small 1/1. Third story: five single 2/2 and a double 2/2 third from north.	
Stairways	At north rear, adjacent to wall; three steps up to concrete patio area.	
Roof	Flat, asphalt and gravel.	
Chimney	Northeast corner and east central; stuccoed brick.	
Gutters	No downspouts.	
Finishes	Window trim: painted white.	Repaint with historic colors (see Appendix A1).
Electrical	Utility wires leading to roof, northeast corner; also along alleyway, with downlights.	
Other	Concrete patio area at rear; approached from alleyway and steps.	

Basement

Room 001 (Large Room, including Front Stairway)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Poured concrete; scored squares; painted gray.	
Walls	Ca.-1960s wood paneling over original plastered brick.	
Ceiling	Original 1909 pressed-metal ceiling, in fair condition (identical to ceilings of south-elevation doorways). Patched with pieces of metal ceiling from Room 101. Dropped ceiling at south end; also north-south boxed duct work, pipes at north end.	Retain metal ceiling or document only. If retained, repair and repaint.
Woodwork	Plain strip.	
Doorways	Five: blocked exterior doorway at top of front stairway; kitchen doorway (no door); toilet-room doorway and door; doorway and door to rear rooms; doorway (no door) to west center stairway to first story; three doorways with doors to utility closet Room 008; one doorway with door to utility closet Room 009.	
Windows	None extant. Original south window wells bricked in, possibly in the 1960s when the first-story storefront windows were bricked in; evidence exists above dropped ceiling at front room. East and west windows infilled, possibly as early as the 1950s.	Retain evidence until future use of basement is determined.

Finishes	Wood-paneled walls, painted ceiling and floor. Ceiling has 17-20 layers of paint.	
Electrical	Electrical fixtures; single incandescent bulbs. Electrical box in southeast corner. Switches near stairway to first story.	Install new modern lighting.
Stairways	Original front stairway is carpeted; doorway at top is blocked.	Retain front stairway.
Other	Four lally columns in the center of the room support the first-floor framing. These do not line up with columns on the first story. Diagonal sub-floor boards visible above the dropped ceiling at the south end of the room recall the original raised display platforms. This reflects building use, and has potential for future research for a cultural resource study.	Retain until the Engineering Report is submitted.

Room 002 (Kitchen)

Recommendations

Element Existing Conditions

Floor	Concrete
Walls	Plastic imitation brick veneer on all walls except northwest corner around sink, which is covered with vinyl tile.
Ceiling	Dropped.
Woodwork	Modern wood strip.
Doorways	One, to Room 001; in northeast angled wall.
Windows	One interior window on east side, looking out to Room 001; two high west windows, bricked in; the southernmost has vent.
Finishes	See Walls.
Electrical	Fluorescent tube lighting.
HVAC	Kitchen has exhaust fan and window vent.
Other	Kitchen has institutional-size gas range on south wall, labeled "Vulcan." Formerly had large refrigerator, now has small one. Sink on north wall, ca. 1960s.

Room 003 (Toilet Room)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Concrete	
Walls	Tile and paint on plastered brick walls.	
Ceiling	Dropped.	
Woodwork	Modern wood strip.	
Doorways	One.	
Windows	One west window, bricked in.	
Electrical	Single incandescent bulb.	
Other	Ca.-1960s fixtures.	

Rooms 004-007 (Back Rooms and Rear Stairway)

These rooms have seen almost no changes, and thus represent the basement as it originally appeared.

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Concrete. The back rooms are two steps above the front of the basement, such that there are two steps at the doorway from Room 004 to 001.	
Walls	Brick.	
Ceiling	Unfinished. A trap door for bringing in provisions exists in the ceiling of Room 005.	Retain trap door, or else photodocument if not retained.
Woodwork	None, except for doorway and window casings.	
Doorways	Room 004: four, opening into all of basement; Room 005: one; Room 006: one; Room 007: one	
Windows	Room 004: two; Room 005: none; Room 006: one interior; Room 007: none. All are bricked in.	
Finishes	Walls painted in Room 004.	
Electrical	Incandescent ceiling light fixtures with single bulbs. Switch plate near doorway to Room 001.	
HVAC	Room 006 contains the heating plant: a Mills oil-fired boiler with two 275-gallon oil tanks. It is possible that this room contains asbestos; see Appendix F4. Room 008 contains the central air-conditioning unit for the building.	

Rooms 008-009 (Closets)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Poured concrete. Remains of two concrete winder steps at bottom of stairway, probably original.	
Walls	Room 008: wood studs and brick. Room 009: plasterboard.	
Ceiling	Room 008: unfinished. Room 009: plasterboard.	
Doorways	Room 008: three doorways with doors to Room 001. Room 009: one doorway with door to Room 001.	
Finishes	Painted ceiling and floor.	
Electrical	Electrical fixtures; single incandescent bulbs.	Install new modern lighting.
HVAC	Central air-conditioning unit in Room 008.	
Stairways	Top portion of original east center stairway to first story remains in Room 008. Concrete winder steps at bottom of stairway, probably original.	Retain retain stairway until future of basement has been determined.
Other	Four lally columns in the center of the room support the first-floor framing. These do not line up with columns on the first story.	Retain until the Engineering Report is submitted.

Room 010 (West Center Stairway)

At the north end of Room 001 is the original west center stairway to the first story, which is still in use. It should be retained until the future of the basement is determined.

Recommendations

<u>Element</u>	<u>Existing Conditions</u>	
Floor	Wood steps, carpeted. Two concrete winder steps at bottom of stairway, probably original.	
Walls	Covered with vinyl sheeting and wood paneling installed in ca. 1960s.	
Ceiling	Plywood, painted white.	
Woodwork	Plain wood strip, ca. 1960s.	
Doorways	Two: one at foot of stairway, one at top.	
Finishes	Wood, vinyl and paint; steps carpeted.	
Electrical	Modern ceiling light at top of stairway; same at bottom landing; also spotlight.	

Room 101 (Club Room)

If the decision is made to restore the exterior south elevation to its original storefront appearance, Room 101 should be restored as much as possible to the same period. This is based on the fact that the south elevation and the interior of Room 101 are so closely related structurally and visually. If the storefront is not restored, Room 101 should still be retored as much as possible to the historic period. Alternatively, it should be thoroughly documented for future reference, and as much original fabric as possible should be retained.

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Brown carpeting over red; original wood flooring underneath. Carpeting is stained and has cigarette burns.	Retain original wood flooring.
Walls	North-south half wall topped by support posts.	Replace with full wall, as originally designed, if required by proposed use.
Ceiling	Dropped cork tile ceiling; original pressed-metal ceiling above, in good condition.	Remove dropped ceiling; restore original pressed-metal ceiling.
Woodwork	Plain strip, ca. 1960s.	Replace with woodwork of the 1909-1920s period, such as found in the stair halls.
Doorways	Seven: one in east wall - to Room 113; two in north wall - one to NE closet and one to Room 108 and the back rooms; two in west wall - one each to Rooms 105 and 104; and one in south wall - two aluminum entrance doors, ca. 1960s. All above interior doors are 1960s plain plywood doors stained to match the wall paneling.	Replace interior doors with solid wood-panel doors. Replace front doors with glazed wood-panel doors to match that of the secondary entrance.

Windows	<p>South (front): eight small high windows; angled entrance walls, one small high window each.</p> <p>East: none; former two windows closed up.</p> <p>West: small sliding window in wall panel, now boarded over.</p>	<p>Replace front windows with storefront windows. Retain small sliding window in west wall.</p>
Special features	<p>Platform on west side front of room.</p> <p>Significant in terms of cultural history.</p>	<p>Retain west platform; replace east platform as well.</p>
Finishes	<p>Ca.-1960s dark wood paneling over original plastered and painted walls. Pressed-metal ceiling above dropped ceiling is painted.</p>	<p>Remove paneling and dropped ceiling. Repaint walls and ceiling using ca. 1909-20 color scheme (see Appendix A1). Replace woodwork and varnish brown.</p>
Electrical	<p>Recessed pool lights; outlets on all walls switch and fuse box in northeast corner.</p>	<p>Replace with ca. 1920s electrical hanging fixtures typical of those for a store.</p>
HVAC	<p>Radiators on east and west sides. Two air-conditioning units in front windows.</p>	<p>Retain radiators if required.</p> <p>Remove AC units from windows.</p>
Other	<p>Ca.-1960s bar on north wall with recessed, built-in shelves behind. Bar scheme dates to 1947.</p> <p>Closet in northeast corner that retains its original high ceiling.</p>	<p>Remove bar and shelves.</p>

Room 102 (Front Stairway)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor and steps	Wood floor and enclosed stairway (straight run of 15 steps) painted light brown; vinyl runner.	Retain stairway.
Walls	Plaster. Lower wall is wood paneled, return is papered; upper walls are painted beige.	
Ceiling	Original plaster ceiling, painted white.	
Woodwork	Simple molded chair rail and baseboard dating to ca. 1970s.	
Doorways	Original exterior paneled doorway at foot of stairway; door has plywood nailed to its interior face, and original glazed panel is boarded up on exterior.	Retain exterior wood panel door at foot of stairway.
Finishes	Paint and ca.-1970s wood paneling on plaster. Walls appear to bear the original finishes sequences.	
Electrical	Incandescent, single-bulb ceiling fixtures at foot of stairway and at top. Spotlight over double doorway to Room 201. Capped gas-pipe on east wall at top of stairway.	

Rooms 103 (Foyer) and 104-105 (Small Rooms)

Recommendations

<u>Element</u>	<u>Existing Conditions</u>	
Floors	Carpeted	
Walls	Wood paneling over original plaster.	
Ceiling	Dropped.	
Woodwork	Plain wood strip.	
Doorways	Room 103: two - one exterior in west wall, one to Room 104 (both boarded up). Room 104: two (one to Room 103, one to Room 101). Room 105: two (one to Room 106, one to Room 101). All doors are plywood.	
Windows	None; former west windows in Rooms 104 and 105 now bricked in.	
Finishes	Wood paneling; all finishes date to ca. 1960s.	
Electrical	Incandescent ceiling lights.	
Other	The northwest corner of Room 105 is boxed in; this was possibly a space for a dumbwaiter, or is the chimney box.	

Rooms 106 and 113 (Toilet Rooms)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Tile	
Walls	Lower walls - tile; upper walls - plaster.	
Ceiling	Plaster.	
Woodwork	Room 106: ca.-1960s woodwork. Room 113: ca.-1947 woodwork.	
Doorways	One doorway in each room.	
Windows	None; former windows (one in Room 106 and two in Room 113, all bricked up).	
Finishes	Tile and paint.	
Electrical	Incandescent ceiling light.	
HVAC	Radiator heat. Ventilation opening at top of bricked-in windows.	
Plumbing	Room 106: toilet bowl and sink, ca. 1960s. Room 113: urinal, two stalls and sink, ca. 1947.	

Rooms 107 and 110-112

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floors	<p>Room 107: original wood flooring.</p> <p>Room 110: carpeted.</p> <p>Room 111: plywood.</p> <p>Room 112: original wood floor.</p>	
Walls	<p>Room 107: 1960s wood paneling over original plaster.</p> <p>Room 110: same.</p> <p>Room 111: ceramic tile (1960s) below wallpaper</p> <p>Room 112: plaster (S & W), studs with shelving (E & N).</p>	
Ceiling	<p>Room 107: pressed-paper tiles nailed to lath.</p> <p>Room 110: original plaster w/sand-texture paint.</p> <p>Room 111: original plaster.</p> <p>Room 112: original plaster covered by acoustic tiles covered by dropped ceiling.</p>	
Woodwork	Plain strip.	
Doorways	<p>Room 107: four - south doorway to front rooms, w/steel-clad plywood door; north doorway to Room 114, w/steel-clad door; east doorway to Room 110, w/plywood door; east doorway to Room 112, w/two-panel wood door.</p> <p>Room 110: three - west doorway to basement stairway; west doorway to Room 107; southeast doorway to Room 111, w/one door.</p> <p>Room 111: one - east doorway to Room 110.</p> <p>Room 112: one - west doorway to Room 107.</p>	

Windows	<p>Room 107: two west bricked in, opening at top of southerly window.</p> <p>Room 110: bricked in east with AC in upper part; two bricked-in north, with opening in upper part of westerly window.</p>
Finishes	Wood paneling, paint and tile.
Electrical	<p>Room 107: one incandescent ceiling fixture; outlets on north and south walls.</p> <p>Room 110: fluorescent-tube ceiling lighting; outlets on southeast corner and east wall.</p> <p>Room 111: one incandescent ceiling fixture.</p> <p>Room 112: one incandescent ceiling fixture.</p>
HVAC	<p>Room 107: radiator north wall adjacent to door; water pipes southwest corner.</p> <p>Room 110: heat vent north wall near floor; AC east wall in window.</p>

Room 109 (Back Room)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Plywood, painted light brown. Floor has trap door.	Retain trap door or document for future reference.
Walls	Horizontal boards (E & S); brick (N & W); all painted light blue.	
Ceiling	Plaster painted white. Paint is peeling.	
Woodwork	Original plain woodwork.	
Doorways	Three — one in east wall to basement stairway and office; one in south wall to closet; one exterior in west wall (doorway and transom bricked up on exterior; doorway interior covered with plaster- board, transom interior covered with metal plate.	
Windows	One original (bricked up) in west wall of Room 109.	
Finishes	Paint on wood or plaster. Walls are painted light blue; ceiling white; all woodwork is painted light brown.	
Electrical	Single incandescent ceiling fixture.	

Room 114 (Rear Stairway)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Wood floor and steps are in good condition; painted light brown.	
Walls	Plaster, painted light blue. Stairway has wainscoting, painted light brown. First-story walls have plywood sheets over them, painted same as plaster.	
Ceiling	Plaster painted white. Paint is peeling.	
Woodwork	Original plain woodwork. Enclosed stairway ascends east to a landing; there it divides, with a flight continuing straight to Room 207, and a flight ascending north to Room 205.	Retain staircase.
Doorways	Four - one exterior west doorway with steel-clad door at foot of stairway; one in north wall to Room 109; one in south wall to Room 107; one at second-story level to Room 207; one at second-story level to Room 205 (open doorway).	
Windows	One 2/2 in north wall.	
Finishes	Paint on wood or plaster. Walls are painted light blue; ceiling white; all woodwork is painted light brown.	
Electrical	Wall fixture over stairway.	

Second Story

Room 201 (Reception Hall)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
General	Large, open floor space with 16-foot-high ceilings.	Retain if possible.
Floor	Original hardwood; refinished in light color ca. 1970s. Main room: floorboards laid diagonally. Alcove (former stage area): floorboards laid at right angles, may be new. All flooring is in good condition.	Retain. Refinish floor, to match existing finish.
Walls	Original plaster covered with ca.-1970s wood paneling. Original plaster visible on upper wall, above metal ceiling. North end consist of a large alcove flanked by open wings, due to the removal of the original stage here in the ca. 1970s. Chimney boxing at center of east and west walls.	
Ceiling	Main room: ca.-1920s pressed-metal ceiling w/coved cornice with neoclassical design; in good condition, but paint is peeling in some areas. Alcove and east wing: ca.-1970s dropped ceiling. West wing: original plaster.	Retain pressed-metal ceiling and cornice. Repaint in historic colors (see Appendix A1).
Woodwork	Plain wooden casing of northwest window is original, based on paint analysis. Molded casings with corner blocks appear newer. All are in good condition.	
Doorways	Three with five-panel wooden doors: a double south doorway to Room 102; northeast doorway to Room 207; northwest doorway to Room 205. Also east and west doorways to Rooms 204 and 208, respectively; and one in the partition wall of each wing.	

Windows	<p>South: three tall, double, 4/4 with transoms; sashes replaced in early 1980s.</p> <p>East: five tall, single 4/4 with transoms.</p> <p>West: five tall, single 4/4 with transom.</p> <p>All windows in generally good condition.</p> <p>Broken panes in two west windows near sink.</p>	
Finishes	<p>Main room: upper walls - scenic wallpaper; lower walls - wood paneling; all ca. 1970s.</p> <p>Other woodwork is light brown. All previous wall finishes, including original stenciling, exist under present finishes. Metal ceiling and cornice are painted white, and have complete paint sequence.</p> <p>Wings: turquoise paint on plaster walls; white paint on plaster ceiling.</p> <p>Floor: light tan stain and clear vanish.</p>	Document the wall stenciling before altering; fur out north wall near sink and wall above metal ceiling to preserve this finish.
Electrical	<p>Main room: five hanging incandescent ceiling fixtures, original to ca. 1920; good condition. Supplementary lighting on walls - downlights, ca. 1970s.</p> <p>Alcove: three recessed pool lights.</p>	Retain 1920s light fixtures or reuse in Room 101.
HVAC	Seven radiators in main room; air conditioning and duct work through the upper walls of the east and west wings.	
Other	Statue mounted on south wall.	Retain statue.

Rooms 202 and 203 (Front Stair Hall and Stairway)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor and	Wood floor and steps; all varnished brown.	
Walls	Plaster. Both rooms have lower walls painted green, a strip of wallpaper at mid-level, and upper walls painted lighter green.	
Ceiling	Plaster, painted white.	
Woodwork	Room 203: contains a large, open stairway with tall double window at the first landing. Balustrade is similar to that in rear stairway, although newel is square. All fabric and paint appear to be original and in good condition.	Retain stairway and stair hall as they exist.
Doorways	Room 202: two - north double doorway to Room 201; south door to Room 203; both with paneled wood doors. Room 203: north doorway to Room 202, with a four-panel wood door; east doorway to Room 315, with a glazed six-panel wood door.	
Windows	Room 202: one tall 4/4 w/transom in west wall. Room 203: one tall, double window with 4/4 sashes in south wall at first landing.	Retain windows.
Finishes	Paint on plaster and brown varnish on wood. R202 has wood paneling and wallpaper, contemporary with finishes in Rooms 102, 203.	
Electrical	Room 202: light switch north, downlight with two cans. Room 203: one hanging, incandescent bulb near top of stairway; outlet on lower east wall; capped gas pipe on east wall at first landing.	
HVAC	Room 202: radiator on west wall.	

Rooms 204 and 208 (Toilet Rooms)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Ceramic tile.	
Walls	Wallpaper above ceramic tile.	
Ceiling	Ca.-1970s dropped ceilings.	
Doorways	One in each room, leading to their respective wings.	
Windows	Room 204: two, in east wall - one 2/2 with stippled glass; one 1/1 with clear glass. Room 208: one, in east wall - tall 4/4 with transom and stippled glass in lower sash.	
Finishes	Wallpaper, paint, and tile.	
Electrical	Single incandescent bulb fixtures.	
Plumbing	Room 204: pink ca.-1970s fixtures. Room 208: blue ca.-1970s fixtures.	

Room 205 (Rear Stair Hall)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Wood floor is good condition; painted light brown.	
Walls	Plaster, painted light blue, above wainscot.	
Ceiling	Acoustical tile, painted white. Paint is peeling.	
Woodwork	Wainscot, doorway and window casings.	
Doorways	One east doorway to second-story open stairway (never had a door); one doorway south to Room 201 with five-panel wood door.	
Windows	One tall 4/4 with transom in west wall.	Retain window.
Finishes	Paint on wood or plaster. Walls are painted light blue; ceiling white; all woodwork is painted light brown.	
Electrical	Wall spotlight adjacent to Room-201 doorway.	

Room 206 (Hat Check Room) and Room 207 (Cloak Room)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Wood painted brown; threshold saddles.	
Walls	Plaster; some areas covered with plywood; all painted buff. Room 206 has 2 by 4s bolted to wall to support duct work on ceiling. Good condition.	
Ceiling	High ceilings; plaster, painted white.	
Woodwork	Plain, painted brown. Room 206 has built-in shelves almost to the ceiling on the north, west, and south walls. Good condition.	Shelves may have future research potential for historic resource study. Retain or photograph and document.
Doorways	Room 206: one east doorway. Room 207: three - one east to Room 209 (rear stairway); one east to Room 206; one south to Room 201. All doorways have five-panel wood doors.	
Windows	Room 206: one 2/2 in the north wall, and a small ticket window in the south wall. Room 207: one 2/2 in the east wall.	Ticket window may have future research potential for hisytoric resource study. Retain or photograph and document.
Finishes	Paint in both rooms. Walls are buff; ceilings white; floor and woodwork light brown.	
Electrical	Room 206: one single-bulb incandescent hanging ceiling fixture. Room 207: one single-bulb incandescent wall fixture w/globe above stairway door, one above doorway to Room 201.	
HVAC	Room 207 has duct work attached to ceiling and leading through upper south wall, into Room 201.	

Room 209 (Rear Stairway)

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floor	Steps are in good condition, painted light brown.	
Walls	Plaster, painted light blue; wainscoting, painted light brown.	
Ceiling	Plaster; painted white. Paint is peeling.	
Woodwork	Wainscoting, doorway and window casings. Stairway is open from second floor to landing, enclosed above as it winds to third story. Open portion has milled balustrade and molded handrail. Balustrade is turned in simple, decorative fashion. Newel is round; post is square.	Retain open staircase.
Windows	One 2/2 in west wall.	Retain window.
Finishes	Paint on wood or plaster. Walls are painted light blue; ceiling white; all woodwork is painted light brown. Considerable peeling of paint between second and third stories.	
Electrical	East side: single bulb, overhead electrical fixture Above winding stairway: one overhead single-bulb fixture at each of the second and third levels.	

Third Story

Rooms 302-304 and 306-312 (Apartments and Rooms)

It is recommended that features here specified as historically significant be retained until thoroughly documented, because of their potential contribution to a historical/cultural resource study of the Polish Club.

The general condition of the third-story rooms is one of neglect, due to deferred maintenance. The toilets are particularly soiled; bowls are filled with trash, and some fixtures are missing. Plumbing to the third story has been disconnected.

<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Floors	Wood floorboards, painted. Area linoleum in some rooms, laid in 1963. Floor finishes are worn. Flooring in doorway between Rooms 308 and 309 is sagging.	
Walls	All walls are plaster; Rooms 303 and 307 also have wainscoting. Many walls display large cracks. Party wall between Rooms 306 and 307 has infilled doorway at west end. The south wall of Room 308 is buckling.	
Ceiling	Ceilings are plaster; some have narrow wood picture moldings.	
Woodwork	Mixed styles of doorway and window casings, some flat and some molded. Flat baseboard with simple cap molding in most rooms, except in those with wainscoting. Rooms 303 and 307 have wood kitchen cupboards and tongue-and-groove wainscoting, some beaded. Room 306 has a chair rail. The west side of the casing of the south door in Room 308 is bowing and separating from the wall.	Retain graining until thoroughly documented; it is recommended that a large fragment of grained woodwork be saved in situ (covered with lucite) or removed and saved as an artifact.

Doorways

All rooms open directly to Room 315, the main corridor, except for Rooms 302, 308, and 309. Due to interconnecting rooms, closets, and toilets, there are numerous doorways within the units, totaling 20. All doorways have five-panel wood doors; doorway casings are mixed, with some plain and some molded. The closet door of Room 310 has a glass pane in the upper half. The surround of the doorway between Rooms 308 and 309 is bowing and separating from the wall.

Windows

There are 12 single windows and seven double windows, for a total of 19 windows in the apartments and rooms. (Adding the two single windows in the front and rear stair halls bring the total to 21 windows on the third story.) All have 2/2 double-hung sashes. All south windows are double; all north windows are single; east and west windows are mixed. A single window measures approximately 60" high and 32" wide. As with the doorway casings, there are two styles of window casings—plain board and simple molded with corner blocks. These vary throughout the units. South and west window casings are weathered.

Finishes

Finishes consist primarily of paint on plaster or wood. Room 303 (kitchen of Apartment C) has original, full-sequence graining on wainscoting and cupboards, in excellent condition. Wallpaper sequences found in Rooms 308-312. All other walls are painted and bear full sequences of 25-30 layers of paint, providing providing excellent, illustrative samples.

Floors are painted but worn. Woodwork is painted white in all rooms but Room 306, where it is brown, and 303, where it is grained. There is considerable alligatoring of woodwork paint in Room 309 and 310. Ceilings are painted white; most are peeling.

Representative paint and wallpaper samples have been saved for artifacts or future reference. Graining has been photographed and analyzed. Retain grained woodwork.

Electrical	<p>Lighting fixtures are electric, incandescent, primarily ceiling fixtures, dating to the 1920s. Many have pull chains. Room 311 has a decorative “shower” ceiling fixture with three hand-painted glass shades. Electrical wall outlets in Rooms 302, 303, and 307.</p> <p>Capped gas pipes on ceilings in Rooms 304 and 308-310, and on the wall of Room 304.</p>	Retain fixtures for artifacts or reuse, particularly the “shower” ceiling fixture in Room 311 (historically significant).
Plumbing	<p>All plumbing fixtures are original to 1909. Toilets have overhead tanks (missing in Rooms 305 and 313). Toilets are in deteriorated condition. Plumbing has been disconnected.</p>	
HVAC	<p>Radiators in all rooms except Rooms 304, 308, and 310. Disengaged radiator in Room 309.</p>	
Other	<p>Telephone outlets in Rooms 302 and 311. Closets in Rooms 308-312.</p>	

Room 315 (Corridor) and Room 316 (Rear Hall)

Recommendations

Element Existing Conditions

Floor

Wood floorboards and steps, painted brown. All thresholds have wood saddles.

Walls

Room 315 is L-shaped, having a central and a southwest hallway. Room 316 is the rear hall. All walls are plaster in the central corridor and rear hall with wainscoting on the lower walls. Some upper wall areas of the central hallway are covered with plywood painted to match the plaster walls. The walls of the southwest hallway are plaster, except for the west wall, which has vertical wood sheathing. The plaster walls are painted buff.

Ceiling

Room 315: covered with square, nonhistoric cardboard tiles. Middle area of central hallway has original plaster ceiling and light shaft with leaded skylight.
Room 316: original plaster ceiling.
All ceiling areas are painted white.

Woodwork

Central hallway and rear hall have wainscoting, plain doorway casings, and no baseboard; southwest hallway has vertical wood sheathing, no casing at south doorway to front stairway, baseboard and molded doorway casings on north and south walls. All woodwork is painted light brown and is in good condition.

Doorways	Room 315: six — two east to Apartment B; one west to Apartment C; two south to Rooms 311 and 312; and one west to the front stairway. All have five-panel wood doors, except for that to the front stairway, which is a glazed six-panel door with four glass panes. Room 316: four - one west to attic, one west to Room 304, one to east to Room 306 (Apartment A), and one south to Room 315.	
Windows	Room 315 has a central light shaft and leaded skylight.	Retain light shaft and skylight.
Finishes	Paint. Walls are painted buff; ceiling is white; woodwork light brown; floorboards brown. Floorboards are worn.	
Electrical	Room 315: single-bulb, incandescent ceiling fixture; capped gas pipe south of light shaft on east wall; capped gas pipe on south wall of southwest hallway. Room 316: single-bulb, incandescent ceiling fixture.	
HVAC	No radiators. Water pipes in central corridor near ceiling.	
<u>Attic</u>		
<u>Element</u>	<u>Existing Conditions</u>	<u>Recommendations</u>
Attic	Unfinished crawl space reached by an enclosed, winder stairway that leads to the roof. The door at the top of the stairway is loose-fitting.	Replace door or refit.

RECOMMENDATIONS FOR ADAPTIVE REUSE PROPOSAL

The following recommendations are primarily made for purposes of accommodating the adaptive reuse proposal outlined in Chapter I, "Administrative Data," and Appendix E, "Trip Report/Adaptive Reuse Proposal."

Basic Requirements

1. The mechanical systems are in unsatisfactory condition.¹ The building needs dehumidification/environmental control systems.
2. The entire building needs cleaning and upgraded maintenance, i.e., exterior repairs and painting of trim, repointing of masonry, interior repairs and painting; upgrading of sanitary facilities.
3. Plumbing, heating, and electrical service needs to be reinstated to the third story; electrical fixtures need to be upgraded.
4. Rehabilitation or restoration as per requirements for adaptive reuse.

Cost Estimates

1. Equipment needs and costs total \$69,450. Specific costs will be updated as planning progresses.
2. Planning and Construction (Renovation):²

<u>Planning</u>	<u>\$125,000 - FY '89</u>
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25,000 - HSR
100,000 - P&S

<u>Construction</u>	<u>\$2,000,000 - FY '90</u>
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Supervision
Bricks and Mortar

¹ Memorandum H30 (SAMA), Superintendent, Salem Maritime NHS to Chief, Historic Preservation, March 27, 1989.

² NAHPC estimates, October 1988.

Impact of the Proposed Recommendations upon the Structure

See Appendix E; an engineering report will be submitted.

Other Factors That Would Affect the Implementation of the Recommendations

These would include Section-106 compliance issues.

Future Research Potential

The Polish Club building has future research potential in the area of cultural research, leading to a historic resource study.

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VI. APPENDICES

APPENDIX A. FABRIC ANALYSES

- A1. Summary Paint Analysis**
- A2. Summary Mortar Analysis**
- A3. Summary Wallpaper Analysis**

Appendix A1. Summary Paint Analysis

Written 1989, revised 1992

A finishes investigation and analysis of St. Joseph Hall—the Polish Club—was conducted in the fall of 1988 as part of the general investigation of the building for this historic structure report. The findings of the paint analysis were primarily intended to substantiate conclusions presented in Chapter III, “Description and Evolution,” of the draft historic structure report (HSR).

During the 1988 investigation, approximately 77 paint samples were extracted from the exterior and interior of the Polish Club building. These were analyzed at the North Atlantic Historic Preservation Center, now the Building Conservation Branch (BCB) of the Northeast Cultural Resources Center. Summary chronologies for the exterior south elevation, and for Rooms 101 and 201 and the stair halls and corridors, were included in the draft 1988 HSR, to support discussion of the original storefront design of the building, and of its most important rooms.

Additional paint samples were taken in 1992 to provide paint analysis and recommendations required by a BCB project to stabilize St. Joseph Hall. This more-detailed study revealed consistent building-wide trim colors during periods of changing paint schemes. All paint-analysis data is stored at the BCB in Lowell, Massachusetts, and can be retrieved for reference and future study as needed.

The additional paint research and analysis conducted in 1992 produced evidence for the following revised summary paint analysis.

Exterior Finishes

Description

Since the Polish Club building is of brick construction, exterior painted finishes are confined primarily to doorway and window casings and frames, window sashes, the metal storefront cornice and the wood roof cornice, and the entrance decks. Paint analysis substantiated the physical evolution of the building, and indicated the following paint history for exterior wood trim (and metal, where indicated):

1909	Original construction. All wood trim painted gloss black; metal storefront cornice and wood roof cornice also gloss black; pressed-metal ceiling of primary entrance and secondary entrance also gloss black; wood deck and steps painted gray.
Ca. 1920	All trim painted gray.
Ca. 1947	All trim painted light gray.
1950s	All trim painted grass-green.
Ca. 1960	All trim painted dark gray.

Ca. 1960	All trim painted dark gray.
Late 1960s	Storefront display windows bricked up; all trim painted white, except for the secondary front entrance, which remained gray. Deck and steps of primary entrance were carpeted.

The 1909 black gloss paint for exterior trim was a short-lived scheme. Historically, the most prevalent paint scheme for exterior trim was gray. The grass-green scheme was apparently not dominant, since it was never used on the roof cornice (i.e., was not found in samples from this area). A return to a darker gray took place just before the storefront was bricked up. From the time of the storefront alteration onward, all exterior trim was painted white, except for the secondary entrance, which was repainted a lighter gray.

Lead paint was found in all of the lower paint layers in exterior paint samples. This was determined from the layers' positive reaction to an application of sodium sulfide. The upper layers in the samples (white paint dating from the 1960's to the present) are lead-free, as indicated by their negative reaction to an application of sodium sulfide.

Recommendations

As part of the 1992 stabilization project, certain exterior trim areas were repainted. Since there were no plans to restore the historic storefront, a historic color scheme was not required. Therefore, it was recommended that the exterior trim be painted white, except for the secondary entrance. The latter should remain gray, since no changes were planned to this area.

Interior Finishes

Description

The interior paint analysis has not been fully developed, since this information is not currently needed: the building is slated for rehabilitation, so reproduction of historic interior paint schemes will not be required. Interior finishes include not only paint but also wallpaper. All data gathered for interior paint and wallpaper research and analysis are stored at the BCB.

Recommendations

No recommendations are made for interior finishes at this time.

Appendix A2. Summary Mortar Analysis

Description

A mortar analysis was conducted as part of the physical investigation of the Polish Club building for purposes of substantiating the evolution of the structure, and for recommending repointing mixtures.

During the fall of 1988 seven exterior mortar samples were extracted, given numbers SAMA 14 M01-07, and analyzed at the NAHPC. It was found that virtually all of these mortars were portland-cement mixes. Sample SAMA 14 M04 is a sample of original 1909 mortar; it was taken from the primary entrance recess in the south elevation, from a location at the lower southeast corner deep within a crevice between the bricks. The mortar is a sandy mix that tested as follows:

natural cement	9	=	3
sand	48	=	16
lime	14	=	5

OR:

portland cement	18	=	3
sand	48	=	8

The sands in sample M04 are warm gray in color, with a rocky aggregate containing pieces of brick. The fines are also warm gray in color. An almost-identical ratio exists in sample SAMA 14 M05, from the mortar used to brick in the storefront display windows, although the color of the sands and fines is less warm and the sand is less rocky.

Later mortars used on the building were tested and found to have mixes ranging from:

portland cement	1
sand	3
lime	1

TO:

portland cement	1
sand	1

Sample SAMA 14 M06, from a patch of repointing of original bricks west of the primary entrance, is a 1:1 portland/sand mix. The sands in this sample contain more brick than those in M04, and the fines are a tan color.

Recommendations

A mix somewhere in between the 1909 original and the later mortars should be used for future repointing, as follows:

portland cement	5
sand	8

Sands from the original mortar (SAMA 14 M04) are available for matching texture and color for the repointing mortar.

New mortar joints must closely match the original in color and profile. All new brick should match the original as closely as possible. Any cleaning of masonry should be done according the Secretary of the Interior's Guidelines for Rehabilitation.

Appendix A3. Summary Wallpaper Analysis

Wallpaper samples were taken from Room 101 (Club Room)—a fragment behind the tin cornice—and five rooms in the third story. These samples have been logged in, given numbers SAMA 14 W01-07, and are stored in the wallpaper storage files at the North Atlantic Historic Preservation Center for future reference. Color slides of Room 201 (Reception Hall) were taken to document the present scenic-patterned wallpaper. Since there is no known plan to restore any of the wallpaper at the Polish Club building, a detailed analysis was not performed for this report.

APPENDIX B.
NATIONAL REGISTER NOMINATION FORM

*As received from the
Massachusetts Historical Commission
March 1989*

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

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DATE ENTERED

NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORMSEE INSTRUCTIONS IN HOW TO COMPLETE NATIONAL REGISTER FORMS
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS**1** NAME

HISTORIC Derby Waterfront District

AND/OR COMMON

Same

2 LOCATIONSTREET & NUMBER Derby Street from Herbert Street to Block House Square and all water-
front streets between Kosciusko and Blaney Streets. NOT FOR PUBLICATION

CITY, TOWN

Salem

VICINITY OF

CONGRESSIONAL DISTRICT

sixth

STATE

Massachusetts

CODE

025

COUNTY

Essex

CODE

009

3 CLASSIFICATION

CATEGORY	OWNERSHIP	STATUS	PRESENT USE	
<input checked="" type="checkbox"/> DISTRICT	<input type="checkbox"/> PUBLIC	<input checked="" type="checkbox"/> OCCUPIED	<input type="checkbox"/> AGRICULTURE	<input checked="" type="checkbox"/> MUSEUM
<input type="checkbox"/> BUILDING(S)	<input type="checkbox"/> PRIVATE	<input type="checkbox"/> UNOCCUPIED	<input checked="" type="checkbox"/> COMMERCIAL	<input checked="" type="checkbox"/> PARK
<input type="checkbox"/> STRUCTURE	<input checked="" type="checkbox"/> BOTH	<input checked="" type="checkbox"/> WORK IN PROGRESS	<input checked="" type="checkbox"/> EDUCATIONAL	<input checked="" type="checkbox"/> PRIVATE RESIDENTIAL
<input type="checkbox"/> SITE	PUBLIC ACQUISITION	ACCESSIBLE	<input type="checkbox"/> ENTERTAINMENT	<input type="checkbox"/> RELIGIOUS
<input type="checkbox"/> OBJECT	<input type="checkbox"/> IN PROCESS	<input checked="" type="checkbox"/> YES RESTRICTED	<input checked="" type="checkbox"/> GOVERNMENT	<input type="checkbox"/> SCIENTIFIC
	<input type="checkbox"/> BEING CONSIDERED	<input type="checkbox"/> YES UNRESTRICTED	<input type="checkbox"/> INDUSTRIAL	<input type="checkbox"/> TRANSPORTATION
		<input type="checkbox"/> NO	<input type="checkbox"/> MILITARY	<input type="checkbox"/> OTHER

4 OWNER OF PROPERTY

NAME Multiple

STREET & NUMBER

CITY, TOWN

STATE

VICINITY OF

5 LOCATION OF LEGAL DESCRIPTIONCOURTHOUSE,
REGISTRY OF DEEDS, ETC. Essex County Registry of Deeds

STREET & NUMBER

32 Federal Street

CITY, TOWN

Salem,

STATE

Massachusetts 01970

6 REPRESENTATION IN EXISTING SURVEYSTITLE Inventory of the Historic Assets of the Commonwealth
and Historic American Buildings Survey (see Continuation Sheet)

DATE

1972

☒ FEDERAL ☒ STATE ☐ COUNTY ☐ LOCALDEPOSITORY FOR
SURVEY RECORDS

Massachusetts Historical Commission

CITY, TOWN

Boston

153

STATE

Massachusetts 02108



DESCRIPTION

CONDITION

☐ EXCELLENT
☒ GOOD
☐ FAIR

☐ DETERIORATED
☐ RUINS
☐ UNEXPOSED

CHECK ONE

☐ UNALTERED
☒ ALTERED

CHECK ONE

☒ ORIGINAL SITE
☐ MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Derby Waterfront District is located in Salem's Waterfront area and includes both sides of Derby Street between Herbert Street to Block House Square and the streets to the south of Derby Street from the Salem Maritime National Historic Site to Blaney Street.

Buildings of the Federal period predominate in this densely settled area; although a number of structures are of the eighteenth, late nineteenth and early twentieth centuries, and three properties date as far back as the seventeenth century. Whereas most of the buildings are clapboard, there are also some outstanding examples of brick construction.

The development of the area is closely tied to the history of the nearby wharves which began in the early eighteenth century. In 1762 Derby Wharf was begun and a portion of Derby Street, "a way of two poles wide to be allowed from Daniel's Lane to Becket's Lane," was laid out. The cross streets which lead to houses near the water existed, in many cases, long before Derby Street.

The Derby Street area was a very busy and exciting place during the height of Salem's foreign commerce, from around the time of the Revolution to the 1820's when Salem's trade began to decline because the harbor was not deep enough to accommodate the fast new clipper ships. On the north side of Derby Street were the houses of the merchants and the gentry, and opposite were the counting rooms, warehouses, ship chandlers' stores, pump-makers' shops, sailmakers' lofts and finally the wharves themselves. Today the district is residential and commercial and preserves much of the feeling of Salem's maritime past.

The first house which one encounters upon entering the district from the east is the Miles Ward House (#1), a two-story building plus gambrel roof. The eighteenth century house is five bays wide and is made of clapboards painted yellow. Its central enclosed entrance porch has two sets of fluted pilasters on either side of the door and a molded pediment above. Small oval windows on either side of the porch are handsomely framed. North of the house there is a so-called "Beverly jog." To the rear there is a small, one-story ridge roof wooden barn.

The Simon Forrester House (#3) is one of the finest houses remaining on Derby Street. Set back from the street on a gentle terraced slope, this three-story, hip roof house was designed by Samuel McIntire in 1791. The five-bay facade and central pedimented entrance portico are typical of the period. The square supporting columns are no doubt replacements of the original slender round columns. This early McIntire house is similar to the Joshua Ward, Pierce-Nichols, and Boardman houses of the same early period in the builder's career. The splendid mantelpiece from the Simon Forrester House is now displayed in Salem's Essex Institute and shows some of the fine carving which made McIntire famous.

In contrast to the clapboard Simon Forrester House is the brick Benjamin Crowninshield House (#4) (Home for Aged Women) of 1810. The house is three stories with a hip roof, and its brick is laid in Flemish bond. Five granite steps lead to the central portico where the door is surmounted by a handsome fanlight with sidelights on either side. Set in the bricks between the second and third story center windows is a

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#7:

brownstone plaque which reads "Home for Aged Women presented by Robert Brookhouse 1861." The original house was much enlarged away from the street in a careful imitation of the original style of the house in 1906 and 1916.

The Captain Edward Allen House (#60) is an impressive house built by a Salem sea captain in 1768. The three-story clapboard building is accented at its corners by quoins. Its five-bay facade has a central pedimented entrance with an enclosed portico embellished by pairs of fluted pilasters. In the center of the hip roof is a square brick chimney. Records indicate that in 1788 a windstorm destroyed a turret on the Captain Allen House.

In addition to the larger merchants' houses, the district includes more modest residential and commercial buildings of Salem's maritime past. Also reminiscent of the period is the Salem Maritime National Historic Site (designated 1938) which is composed of the Custom House (#5), the Hawkes House (#6), the Richard Derby House (#7), the West India Goods Store (#8), and Derby Wharf (#50). Also in the district is the House of Seven Gables Complex (accepted National Register 5/8/73) which includes the House of Seven Gables (#121), the Nathaniel Hawthorne Birthplace (#111), the Retire Beckett House (#122), the Counting House (#122a), the Hathaway House (#122b), Emmerton Hall (#20), the Phippen House (#110), and the Doret House (#115).

#8:

Madison and Monroe. Monroe is said to have stayed in the Derby Street house for four days in 1817, and a banquet there given in his honor included such noteworthy Americans as Commodore Perry, Bainbridge, and Judge Story.

The house was later the home of General James Miller while he was in charge of the Custom House. It is thought that his sinecure at the Custom House was a reward for his heroism in the War of 1812 and for his support of Andrew Jackson.

The Custom House (#5) was built in 1819, and was intended to accommodate an increase in the commercial prosperity of the area. Since this was the beginning of the decline of Salem's maritime activity, the building was actually too large for its purpose. It was here that Nathaniel Hawthorne served as Surveyor of the Port from 1846 to 1849, and it was also here that the author is said to have worked on his novel The Scarlet Letter.

(continued)

8 SIGNIFICANCE

PERIOD		AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW			
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION	
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE	
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE	
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN	
<input checked="" type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER	
<input checked="" type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION	
<input type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)	
		<input type="checkbox"/> INVENTION			

SPECIFIC DATES

BUILDER/ARCHITECT

STATEMENT OF SIGNIFICANCE

The Derby Waterfront District is significant as the center of Salem's maritime activity and as one of the single most important seaports in the United States in the eighteenth century. With its merchants' mansions overlooking shops, residences, and wharves, the district remains a well-preserved reminder of a once bustling sea-trading center.

According to Samuel Eliot Morison, ". . . in the Dutch Indies, Manila, Mauritius, both coasts of Africa, and the small islands of the Pacific, Salem stood for the United States. As late as 1833 Po Adam, the wealthiest merchant of Quallah Battoo 'believed Salem to be a country by itself, and one of the richest and most important sections of the globe.'" Closely related to the sailing ventures of this area was the shipbuilding industry, the most famous shipyard being the one near Becket Street where the Becketts built sailing vessels between 1655 and 1887.

In 1735, the year of his marriage to Mary Hodges, Richard Derby purchased a lot on the northeast corner of what is now Herbert and Derby Streets and soon after erected a commodious gambrel roof structure, later and more commonly known as the Miles Ward House (#1). Richard Derby occupied the house until his death on November 9, 1783. His son Elias Hasket Derby became Salem's outstanding merchant and pioneer across the seas and his son Richard was a member of the Provincial Congress. In later years the house was occupied by a kinsman of Nathaniel Hawthorne. The house was frequently visited by Hawthorne who did much of ^{his} writing in a summer house in the garden (no longer standing).

Another Derby House is that at 168 Derby Street (#7) built for Elias Derby in 1761. The house is the oldest brick house in Salem.

According to the Diary of Reverend William Bentley, Simon Forrester came to Salem from Ireland when he was a young man and was apprenticed to Captain Daniel Hawthorne on Union Street. In 1791 he bought the "elegant but unfinished House of Captain Jonathan Ingersoll, front Derby Street, with the Cobb Wharf and Store Flatts." (Simon Forrester House, #3) In the year 1776 Forrester, who was then thirty years old, commanded the privateer Rover and captured six English vessels. He later became a successful merchant, and it was he, or one of his sons, who gave land at the corner of Mall and Bridge Streets for the first Catholic Church in Salem. Bentley says Forrester gave "15 hundred Dollars to the Poor, to be given them for a dinner annually from the interest at the discretion of the Overseer."

Number 180 Derby Street (#4) was built in 1810-1812 for Benjamin Crowninshield whose father George lived next door in a house where the Custom House now stands. The wealthy merchant was a member of Congress and Secretary of the Navy under both

(continued)

According to the Diary of Reverend William Bentley, Simon Forrester came to Salem from Ireland when he was a young man and was apprenticed to Captain Daniel Hawthorne on Union Street. In 1791 he bought the "elegant but unfinished House of Captain Jonathan Fingersoll, front Derby Street, with the Cobb Wharf and Store Flatts." (Simon Forrester House, #3) In the year 1776 Forrester, who was then thirty years old, commanded the privateer Rover and captured six English vessels. He later became a successful merchant, and it was he, or one of his sons, who gave land at the corner of Mall and Bridge Streets for the first Catholic Church in Salem. Bentley says Forrester gave "15 hundred Dollars to the Poor, to be given them for a dinner annually from the interest at the discretion of the Overseer."

Number 180 Derby Street (#4) was built in 1810-1812 for Benjamin Crowninshield whose father George lived next door in a house where the Custom House now stands. The wealthy merchant was a member of Congress and Secretary of the Navy under both Madison and Monroe. Monroe is said to have stayed in the Derby Street house for four days in 1817, and a banquet there given in his honor included such noteworthy Americans as Commodore Perry, Bainbridge, and Judge Story.

The house was later the home of General James Miller while he was in charge of the Custom House. It is thought that his sinecure at the Custom House was a reward for his heroism in the War of 1812 and for his support of Andrew Jackson.

The Custom House (#5) was built in 1819, and was intended to accommodate an increase in the commercial prosperity of the area. Since this was the beginning of the decline of Salem's maritime activity, the building was actually too large for its purpose. It was here that Nathaniel Hawthorne served as Surveyor of the Port from 1846 to 1849, and it was also here that the author is said to have worked on his novel The Scarlet Letter.

Another important house in the district is the General Frederick Townsend Ward House (#26) at 96-98 Derby Street. A descendant of one of the first families in

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#8: (cont.)

Another important house in the district is the General Frederick Townsend Ward House (#26) at 96-98 Derby Street. A descendant of one of the first families in Salem, Ward was born in the house in 1831 and lived there through much of his childhood. When he was fifteen, he went to sea and after a few years rose to positions of authority aboard his ships. General Ward obtained his title by organizing and drilling Chinese troops which, under his leadership, had such success during the Tai Ping rebellion that they came to be known as the "ever victorious army." Upon his death in 1862, Ward was buried in a temple built in his honor in China, and by Imperial mandate Ward was worshiped as a diety.

The Derby Waterfront District also encompasses the Salem Maritime Historic Site (designated in 1938) and the House of Seven Gables Complex (accepted in National Register 5/8/73). The Derby Street portion of the Derby Waterfront District was made a local historic district, known as the Derby Street Historic District, in 1974.

#6:

Properties in the Derby Waterfront District listed in HABS:

Custom House and Public Stores (MASS-799), 1958.
Custom House Scale House (MASS-800), 1958.
Richard Derby House (MASS-269), 1940, 1958, 1962.
Forrester's Warehouse (MASS-572), 1941.
General Benjamin Hawkes House (MASS-270), 1937, 1938, 1940.
"House of Seven Gables" (MASS-629), 1935.
Rum Shop (MASS-801), 1958.

9 MAJOR BIBLIO APHICAL REFERENCES

Salem Historic District Study Committee Report, Elizabeth K. Reardon.
The Maritime History of Massachusetts, Samuel Eliot Morison.
Old Time New England, "The Derby House," Vol. XLVII, No. 4, 1957.
Salem and the Indies, Stephen Duncan Phillips.
History of Salem, Sidney Perley.
Visitor's Guide to Salem, 1894 and 1937.

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY 25 acres

UTM REFERENCES

A 1 9 3 4 5 6 2 0 4 7 0 9 8 0 0
ZONE EASTING NORTHING
C 1 9 3 4 4 6 8 0 4 7 0 9 3 4 0

B 1 9 3 4 5 2 2 0 4 7 0 8 5 0 0
ZONE EASTING NORTHING
D 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1

VERBAL BOUNDARY DESCRIPTION

Beginning at Derby Street, starting after the Pickering property and running in a southeasterly direction along the Pickering property to the water's edge, then running along the water's edge in an easterly direction up to and not including the New England Power Company, then turning and running in a northeasterly direction along the New England Power Company property to Derby Street and in an easterly direction along Derby Street up to and including Block House Square, then turning in a westerly direction and following the back lot lines of properties facing and abutting Derby Street up to and including 27 Herbert Street and back to the point of beginning.

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
STATE	CODE	COUNTY	CODE

11 FORM PREPARED BY

NAME / TITLE

Judy D. Dobbs, National Register Editor, and Jacob S. Wolfson, Director, Historic Sale

ORGANIZATION

DATE

Inc.

Massachusetts Historical Commission

November 20, 1975

STREET & NUMBER

TELEPHONE

294 Washington Street

617-727-8470

CITY OR TOWN

STATE

Boston

Massachusetts 02108

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL ☒

STATE ☐

LOCAL ☐

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE

Elizabeth Reed Amador

TITLE

Executive Director, Massachusetts Historical Commission

DATE

Nov. 21, 1975

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

DATE

DIRECTOR, OFFICE OF ARCHEOLOGY AND HISTORIC PRESERVATION

ATTEST:

DATE

KEEPER OF THE NATIONAL REGISTER

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

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The Derby Waterfront District boundaries were chosen to include the important areas of maritime activity by the wharves and Derby Street, which was where the early merchants lived. The district stops on the north side of Derby Street because that boundary conforms to the local district and because the area to the north of Derby Street begins the Salem Common Historic District which has also been nominated to the National Register. The Salem Common area is distinct from the waterfront in that it was around the common that the merchants settled after they accumulated their wealth at the waterfront.

At the south end of White Street is a parcel of land containing some run-down buildings. A proposal by a local developer to convert the area to a marina and restaurant complex has received initial approval by the Salem Conservation Commission. It has now gone to the Army Corps of Engineers for their approval.

The Simon Forrester House (#3) was attributed to Samuel McIntire by Fiske Kimball in his book, Mr. Samuel McIntire, Carver, The Architect of Salem. Kimball based his attribution on comparisons of style and detail in McIntire's Pierce, Ward and Boardman Houses.

DERBY WATERFRONT DISTRICT, SALEM, MASS.

MAP KEY

1. Miles Ward House, 27 Herbert St. (1783)
2. W. David Crosby, 14-16 Hodges Ct.
3. Simon Forrester House, 188 Derby St. (1791)
4. Benjamin Crowninshield House, 180 Derby St. (1810)
5. Custom House, 178 Derby St. (1819)
6. Hawkes House, 174 Derby St. (1779)
7. Derby House, 168 Derby St. (1761)
8. West India Goods Store, 164 Derby St. (c.1800)
9. St. Josephs Society, 158-160 Derby St. (1909)
10. Theresa & Richard Dylengoski, 150-156 Derby St. (Federal, altered 188)
11. Genevieve Kobuszewski, 142-146 Derby St. (Federal, altered)
12. Hollis & Catherine Hartigan, 140 Derby St. (Federal)
13. Thaddeus & Vanda Kohn, 136-138 Derby St. (Federal and early 1900)
14. Estate of John Klosowski, 132-134 Derby St. (Federal)
15. Swinuich Park-City of Salem, 128 Derby St.
16. John Witkos & Stanley Witkos, 126 Derby St. (1895)
17. Vacant store, 124 Derby St. (c.1900)
18. George & Myrtle Burkinshaw, 122 Derby St. (c.1850)
19. Helen Sowinski, 118 Derby St. (Federal)
20. Emmerton Hall, 114 Derby St. (1806-1807)
21. Rum Realty Trust, 110-112 Derby St. (Pre-Federal)
22. John Franco Ukrainian Society, 106 Derby St. (1900)
23. Stacia Williams, 104 Derby St. (Federal)
24. Paul & Roberta Houle, 102 Derby St. (Federal)
25. Donald Koleman-1812 Realty Trust, 100 Derby St. (Federal)
26. Birthplace of Gen. Frederick Townsend Ward, 96-98 Derby St. (1805)
27. Blanche Paskowski, 90-92 Derby St. (Pre-Federal)
28. Mary Kulak, 84-86 Derby St. (Federal)
29. Nathan B. Blood House, 82 Derby St. (1808)
30. Jesse Kenney House, 78 Derby St. (1804)
31. Stanley & Helen Grabas, 76 Derby St. (Vacant lot)
- * 32. MCR Realty Trust, 72 Derby St. (1890-1900)
33. Amelia B. Bik, 66 Derby St. (Federal)
34. Helen Grabas, 62 Derby St. (Federal)
35. Josiah Gatchell House, 60 Derby St. (1800)
36. Thomas Magoun House, 58 Derby St. (1807)
37. Epes Cogswell House, 54 Derby St. (1802)
38. Roland & Aldea Corneau, 50 Derby St. (Federal)
39. James & Elizabeth Cooper, 48 Derby St. (Federal)
40. Chester & Linda LeBlanc, 44 Derby St. (Federal)
41. Raymond & Artemis Gregoire, 40 Derby St. (Federal)
42. George & Eleanor Talbot, 36 Derby St. (Federal)
43. City of Salem, 34 Derby St. (parcel of land)
44. Velma Gwinn, 16 Derby St. (parcel of land)
45. Maude Morin, 12 Derby St. (Federal)
46. George Manning, 10 Derby St. (Pre-Federal)
47. John & Lillian Whitehead, 8 Derby St. (Federal)
48. Stephanie & Sandra Biuvud, 6 Derby St. (1900)
49. Margaret Hanley & Velma Gwinn, 1 Block House Square (1900)
50. Salem Maritime National Historic Site, 163-173, 193 Derby St.
51. Ernest & Virginia Santin, 159 Derby St. (Federal)
52. Veronica Karbowniczak, 155-157 Derby St. (1890)
53. Manuel & Martha DeCastro, 149-151 Derby St. (1890)
54. L and A Realty Trust Co., 145-147 Derby St. (parcel of land)

- 162 -
(continued)

*32a Grabas the Caterer 76 Derby St. (Federal)

DERBY WATERFRONT DISTRICT, SALEM, MASS.

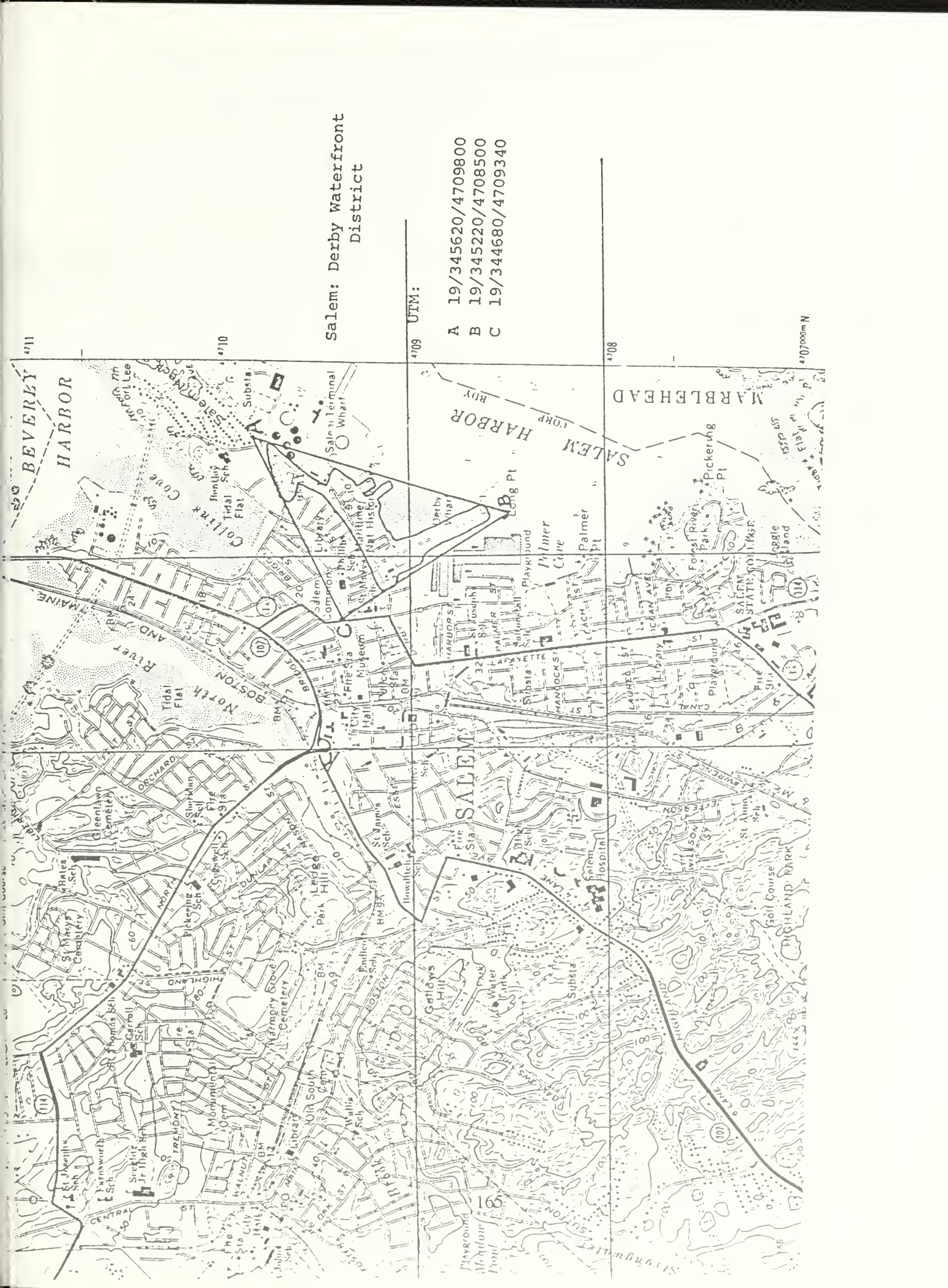
MAP KEY

55. Henry & Sophie Theriault, 143 Derby St. (Federal)
56. Thaddeus Wlodyka, 137 Derby St. (between 1875 and 1900)
57. Thaddeus Wlodyka, 135 Derby St. (between 1875 and 1900)
58. Veronica Karbowniczak, 131 Derby St. (between 1875 and 1900)
59. Frances Bona, 127 Derby St. (Federal)
60. Captain Edward Allen House, 125 Derby St. (Pre-Federal)
61. Frank & Mary Dominick, 117 Derby St. (between 1875 and 1900)
62. David Ropes House, 111 Derby St. (1771)
63. David Ropes House, 109 Derby St. (1770)
64. David Ropes House, 105 Derby St. (rear 1771)
- 64a. Joseph Beadle House, 105 Derby St. (front 1835)
65. William Young House, 101 Derby St. (1772)
66. Alice Jordan, 99 Derby St. (1900)
- 66a. William Williams House, 97 Derby St. (1772)
67. Witch City Post 1524, 91-95 Derby St. (1900)
68. Richard Palfrey House, 83-85 Derby St. (1789)
69. Bronislawa Kapitanuik, 81 Derby St. (1875)
70. Anna Esmund, 65 Derby St. (Pre-Federal)
71. New England Power Co., (not included in Derby Waterfront District)
72. William & Adele McKinnon, 5 Kosciusko St. (parcel of land)
73. William & Adele McKinnon, 9 Kosciusko St. (Federal)
74. Lillian Pszeny, 11-15 Kosciusko St. (1900)
75. Amie Lussier, 15-17 Kosciusko St. (parcel of land)
76. Rose Gorski, 19 Kosciusko St. (1900)
77. Helen & Wanda Mysliwy, 21-23 Kosciusko St. (garages)
78. Murray Kickstein, 6 Kosciusko St. (1850)
79. Roger & Dorothy Tardiff, 8 Kosciusko St. (1900)
80. Genevieve Rybicki, 12 Kosciusko St. (1900)
81. William & Adele McKinnon, 14 Kosciusko St. (1900)
82. David & Alice Johnson, 16 Kosciusko St. (Federal)
83. William & Adele McKinnon, 20 Kosciusko St. (parcel of land)
84. W. David Crosby, 22 Kosciusko St. (c.1900)
85. Thaddeus Wlodyka, 25 Daniels St. (between 1875 and 1900)
86. L and A Realty Trust, 27-29 Daniels St. (Federal)
87. L and A Realty Trust, 29 Daniels St. rear
88. Koleman Trust, 35 Daniels St. (Federal)
89. Viktor & Honorata Szczuka, 37 Daniels St. (1900)
90. Alexander Wodarski, 39 Daniels St. (Federal)
91. William & Adele McKinnon, 43 Daniels St. (Pre-Federal)
92. John & Catherine Horeczy, 45 Daniels St. (Federal)
93. Century Investment Inc., 22-24 Daniels St. (parcel of land)
94. William McKinnon, 26 Daniels St. (1875)
95. William McKinnon, 28-30 Daniels St. (Federal)
96. Michael & Fernande L'Italian, 40 Daniel St. (1850)
97. Alexander & Alice Soboczinski, 40 Daniels St. (1875)
98. William & Adele McKinnon, 4 Daniels St. Ct. (Federal)
99. Napoleon & Stella Michaud, 1 Daniels St. Ct. (1897)
100. Hans & Diana Weedon, 1A Daniels St. Ct. (1900)
101. Agnes Konieczny, 3 Daniels St. Ct. (1900)
102. Robert Kobuszewski, 5 Daniels St. Ct. (1875)

(continued)

MAP KEY

103. John & Gladys Sierakowski, 18 Hardy St. (Federal)
104. Lucian & Yvonne Morin, 20 Hardy St. (Federal)
105. John Karbowniczak, 22 Hardy St. (Federal)
106. Stanley & Cora Karbowniczak, 22 1/2 Hardy St. (1950)
107. Edward & Phyllis Luzinski, 24 Hardy St. (Federal)
108. Chester Defanski et al, 24 1/2 Hardy St. (1850)
109. Helen Derflinger, 26 Hardy St. (Greek Revival)
110. Phippen House, 25 Hardy St. (Property of House of Seven Gables)
111. Nathaniel Hawthorne Birthplace, 29 Hardy St. (Prop. of Hs. of Seven Gables)
112. Jesse Kenney House, 37 Turner St. (1793)
113. Sophie Sawicki, 39 Turner St. (1875)
114. Margaret Lavoie, 41 Turner St. (Federal)
115. Property of The House of Seven Gables, 43 Turner St. (Federal)
116. Anthony Iwanicki, 45-47 Turner St. (Pre-Federal)
117. Bradford Northrup, 49 Turner St. (Greek Revival)
118. Anna Kopka, 53-55 Turner St. (1875)
119. G. Miller & Dorothy Baxter Primm, 57 Turner St. (1900)
Walter & Margaret Suslak, 57 R W Turner St. (1900)
120. Ebenezer Goldsmith House, 42 Turner St. (Federal)
121. House of Seven Gables, 46-54 Turner St. (1668)
122. Retire Beckett House, (On House of Seven Gables property) (1655)
- 122a. Counting House, (On House of Seven Gables property)
- 122b. Hathaway House, (On House of Seven Gables property) (1682)
123. Casimir Szetela, 2 Blaney St. (Greek Revival)
124. Edward & Barbara Sawicki, 3 White St.
125. Napoleon Michaud, 6 White St. (Warehouse 1830)
126. Roberto Tassinari & Stanley Burba, 8 White St. (Sheds 1875)
127. Helen M. Cooke, 10 White St. (Warehouses 1850)
128. Harry Morris, 5 Blaney St. (1850)
129. Thomas Mackey, 5 & 7 White St. (Land)
130. Thomas Mackey, 4-12 Blaney St. (3 buildings; 1-1850; 1-Pre-Federal; 1-1900)



Salem: Derby Waterfront District

UTM:

- A 19/345620/4709800
- B 19/345220/4708500
- C 19/344680/4709340

4709

4708

470000m N

NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY PHOTOGRAPH FORM

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DATE ENTERED

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES ENCLOSE WITH PHOTOGRAPH

1 NAME

HISTORIC Derby Waterfront District

AND/OR COMMON
Same

2 LOCATION

CITY, TOWN Salem VICINITY OF COUNTY Essex STATE MA

3 PHOTO REFERENCE

PHOTO CREDIT Jacob S. Wolfson

DATE OF PHOTO 1975

NEGATIVE FILED AT Historic Salem, Inc., PO Box 865, Salem, Massachusetts 01970

4 IDENTIFICATION

DESCRIBE VIEW, DIRECTION, ETC. IF DISTRICT, GIVE BUILDING NAME & STREET

PHOTO NO 1

Miles Ward House (#1 on map), 27 Herbert Street.
Facing south.

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NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY PHOTOGRAPH FORM

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1 NAME

HISTORIC Derby Waterfront District

AND/OR COMMON
Same

2 LOCATION

CITY, TOWN Salem VICINITY OF COUNTY Essex STATE MA

3 PHOTO REFERENCE

PHOTO CREDIT Jacob S. Wolfson

DATE OF PHOTO 1975

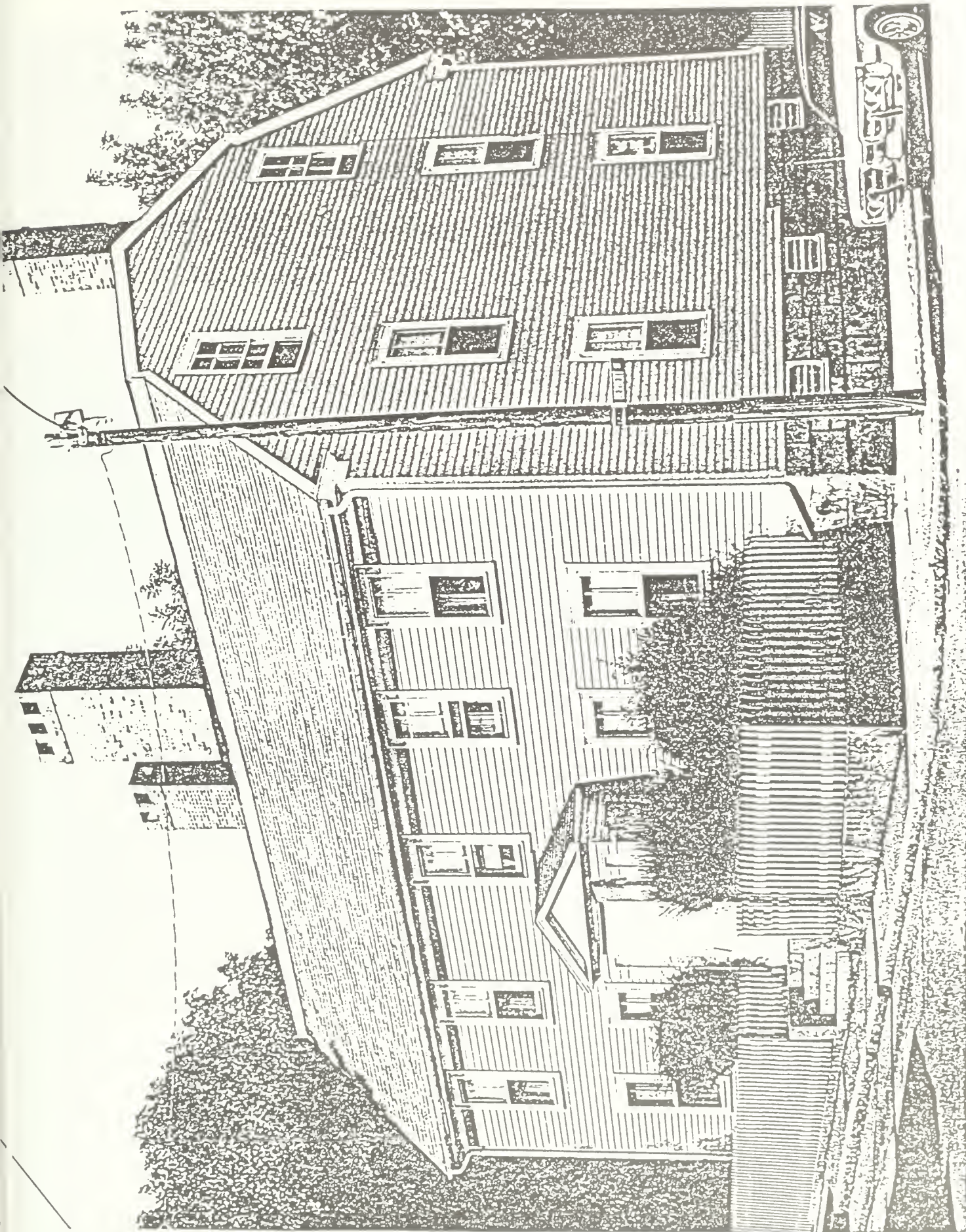
NEGATIVE FILED AT Historic Salem, Inc., PO Box 865, Salem, MA 01970

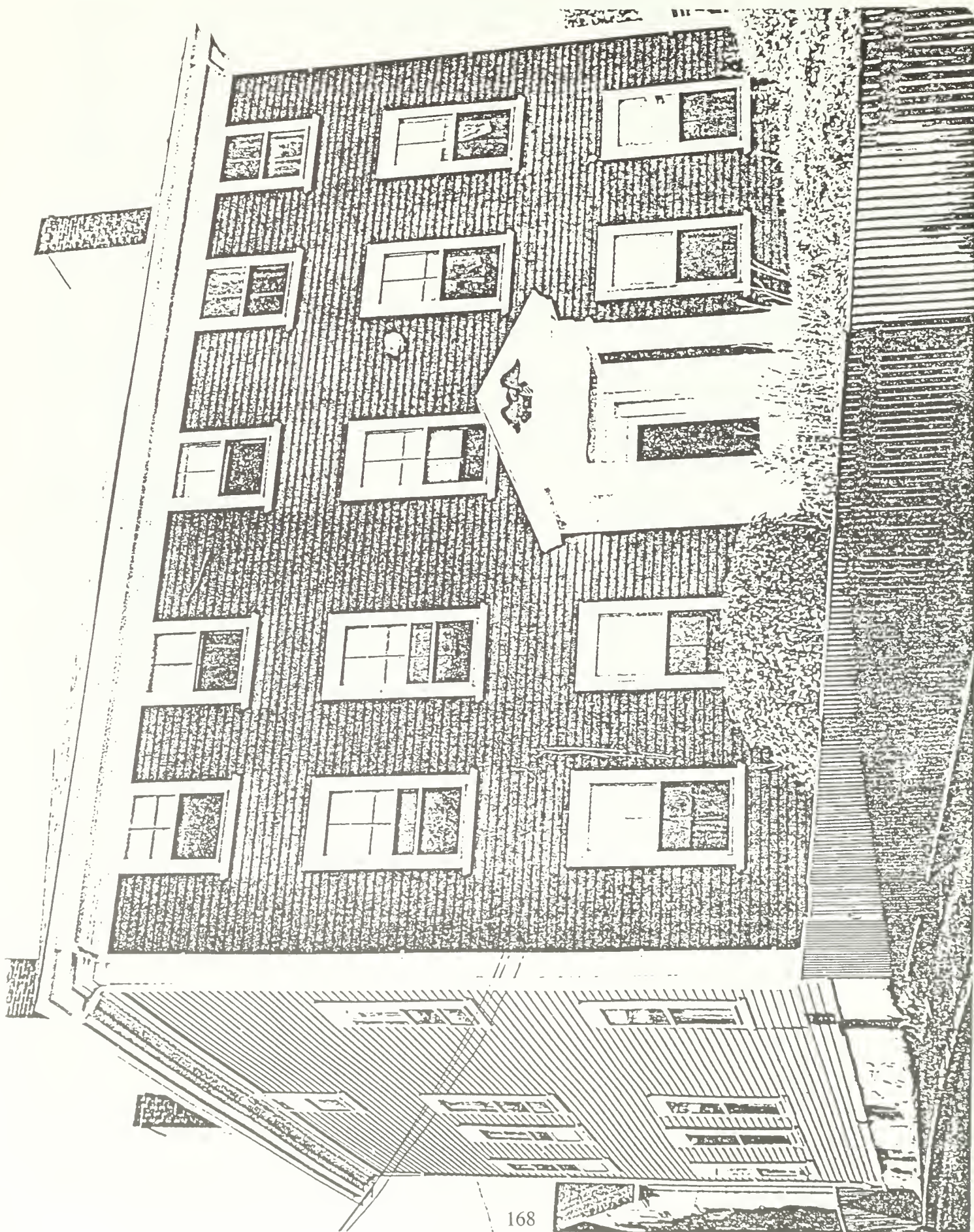
4 IDENTIFICATION

DESCRIBE VIEW, DIRECTION, ETC. IF DISTRICT, GIVE BUILDING NAME & STREET

PHOTO NO 2

Simon Forrester House (#3 on map), 188 Derby Street.
Facade facing east.





NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY PHOTOGRAPH FORM

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SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES ENCLOSE WITH PHOTOGRAPH

1 NAME

HISTORIC Derby Waterfront District

AND/OR COMMON Same

2 LOCATION

CITY, TOWN Salem

____ VICINITY OF

COUNTY Essex

STATE MA

3 PHOTO REFERENCE

PHOTO CREDIT Jacob S. Wolfson DATE OF PHOTO 1975
NEGATIVE FILED AT Historic Salem, Inc., PO Box 865, Salem, MA 01970

4 IDENTIFICATION

DESCRIBE VIEW, DIRECTION, ETC. IF DISTRICT, GIVE BUILDING NAME & STREET

PHOTO NO 3

Benjamin Crowninshield House (Home for Aged Women) (#4 on map).
Facade facing east.

NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY PHOTOGRAPH FORM

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TYPE ALL ENTRIES ENCLOSE WITH PHOTOGRAPH

1 NAME

HISTORIC Derby Waterfront District

AND/OR COMMON Same

2 LOCATION

CITY, TOWN Salem

____ VICINITY OF

COUNTY Essex

STATE MA

3 PHOTO REFERENCE

PHOTO CREDIT Jacob S. Wolfson DATE OF PHOTO 1975
NEGATIVE FILED AT Historic Salem, Inc., PO Box 865, Salem, MA 01970

4 IDENTIFICATION

169

DESCRIBE VIEW, DIRECTION, ETC. IF DISTRICT, GIVE BUILDING NAME & STREET

PHOTO NO 4

Captain Edward Allen House (#60 on map).
Facade facing north.



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NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY PHOTOGRAPH FORM

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TYPE ALL ENTRIES ENCLOSE WITH PHOTOGRAPH

1 NAME

HISTORIC

Derby Waterfront District

AND/OR COMMON

Same

2 LOCATION

CITY, TOWN Salem

____ VICINITY OF

COUNTY Essex

STATE MA

3 PHOTO REFERENCE

PHOTO CREDIT Jacob S. Wolfson

DATE OF PHOTO 1975

NEGATIVE FILED AT Historic Salem, Inc., PO Box 865, Salem, MA 01970

4 IDENTIFICATION

DESCRIBE VIEW, DIRECTION, ETC. IF DISTRICT, GIVE BUILDING NAME & STREET

PHOTO NO 6

Derby Street from White Street, facing west. (#66 in foreground)

NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY PHOTOGRAPH FORM

DATE ENTERED

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES ENCLOSE WITH PHOTOGRAPH

1 NAME

HISTORIC

Derby Waterfront District

AND/OR COMMON

Same

2 LOCATION

CITY, TOWN Salem

____ VICINITY OF

COUNTY Essex

STATE MA

3 PHOTO REFERENCE

PHOTO CREDIT Jacob S. Wolfson

DATE OF PHOTO 1975

NEGATIVE FILED AT Historic Salem, Inc., PO Box 865, Salem, MA 01970

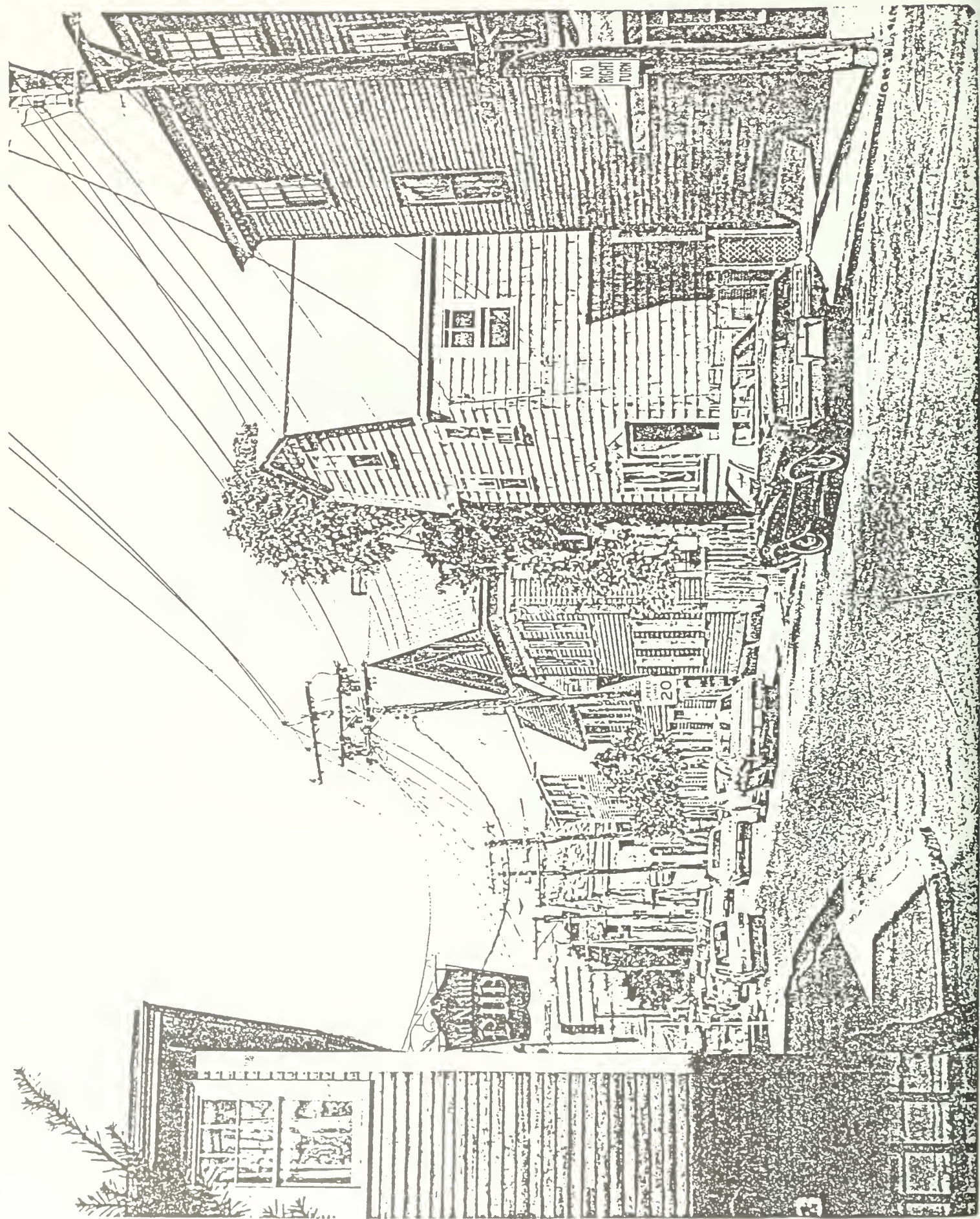
4 IDENTIFICATION

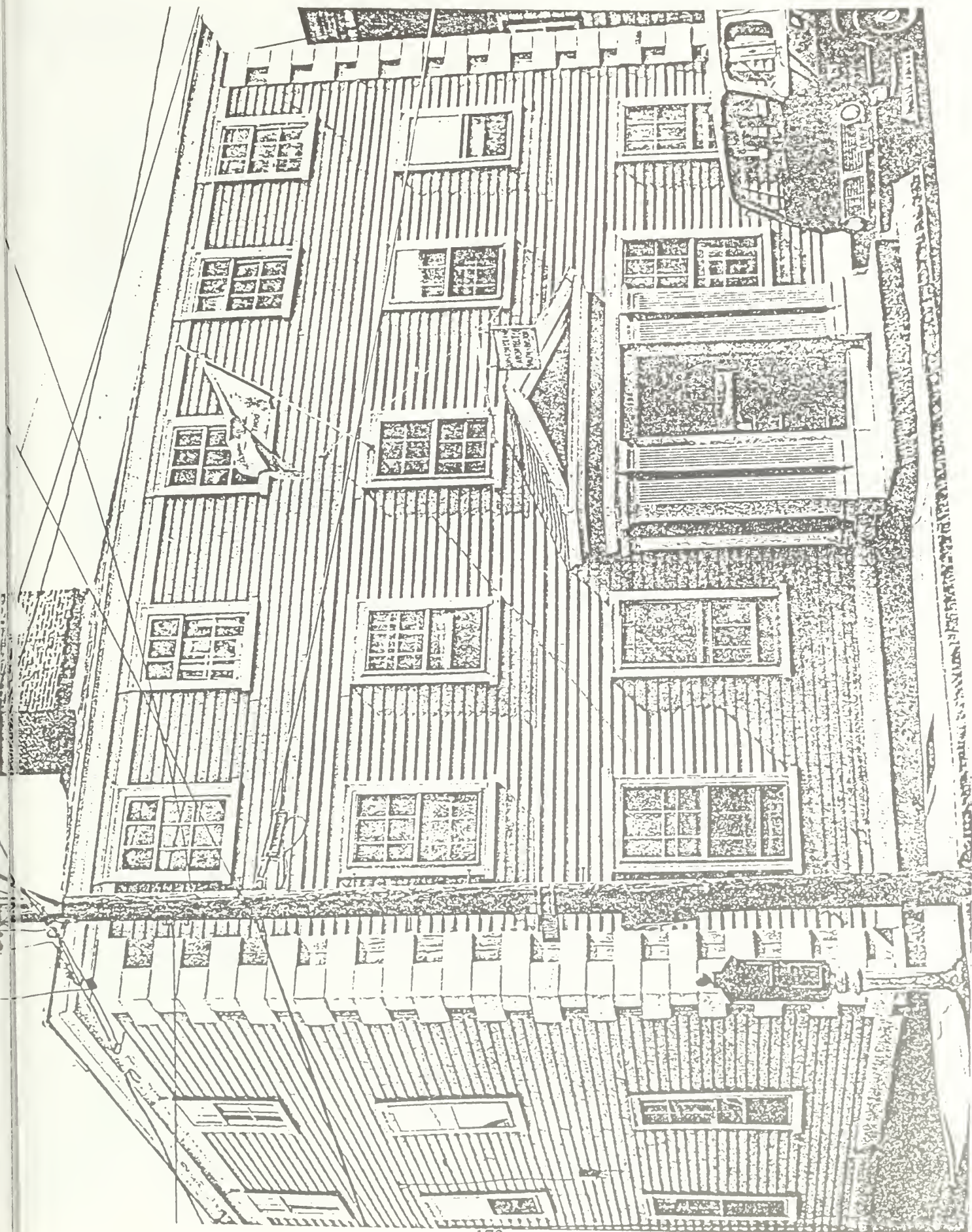
DESCRIBE VIEW, DIRECTION, ETC. IF DISTRICT, GIVE BUILDING NAME & STREET

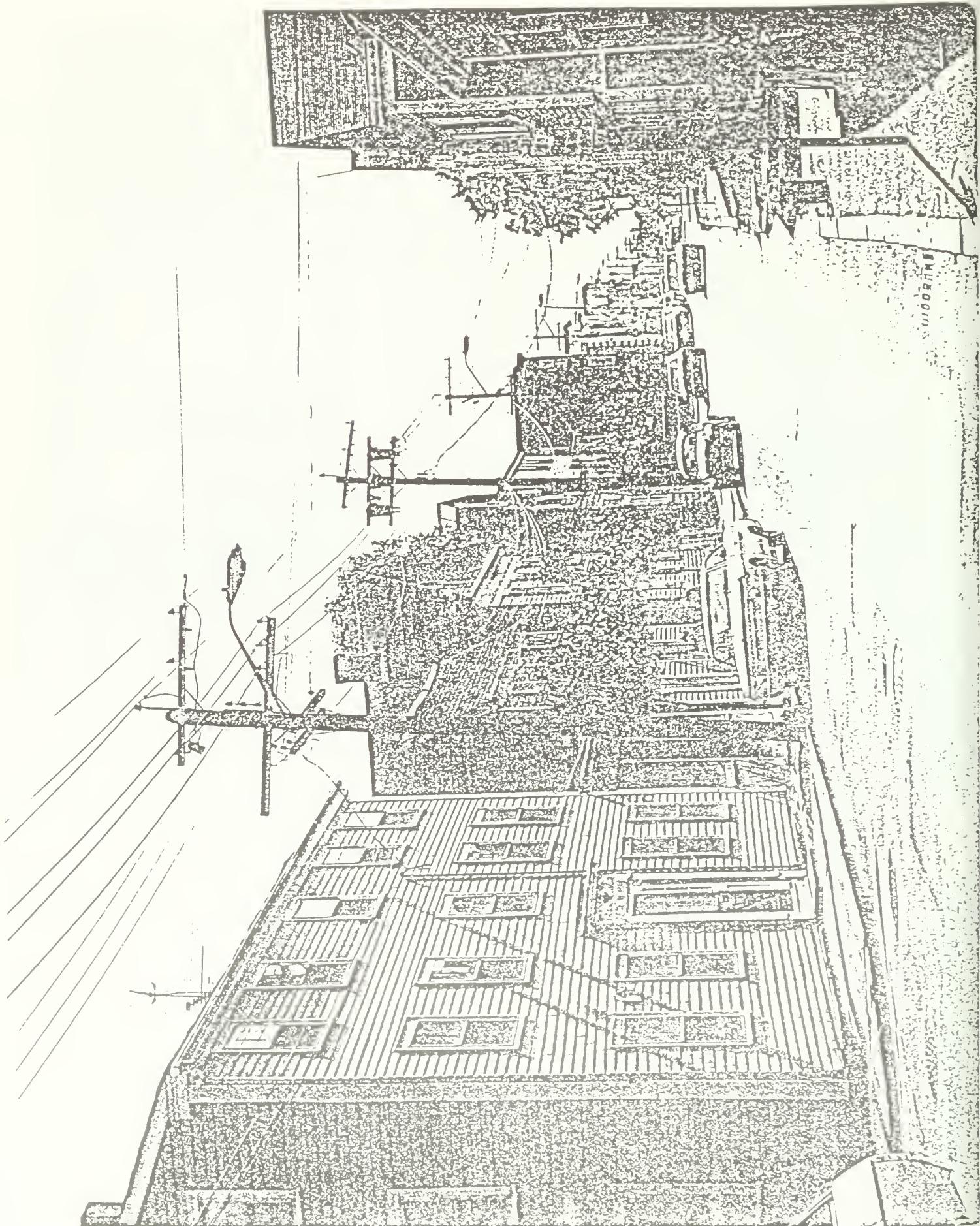
PHOTO NO 5

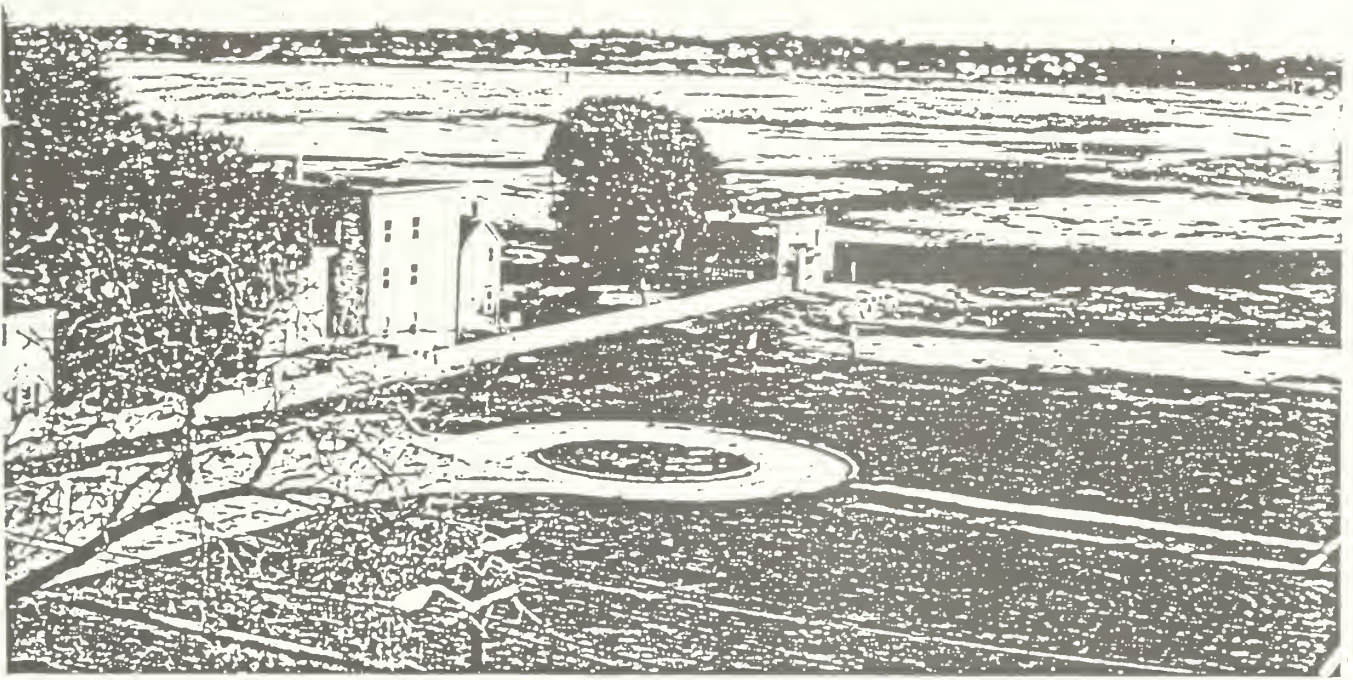
171

Derby Street from Turner Street, facing northeast.
(#69 at left foreground and #62 right foreground).











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NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY MAP FORM

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SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- ENCLOSE WITH MAP

1 NAME

HISTORIC Derby Waterfront District

AND/OR COMMON

Same

2 LOCATION

CITY, TOWN Salem VICINITY OF COUNTY Essex STATE MA

3 MAP REFERENCE

SOURCE City of Salem Assessors' Map

SCALE 1" = 100' DATE

4 REQUIREMENTS

TO BE INCLUDED ON ALL MAPS

1. PROPERTY BOUNDARIES
2. NORTH ARROW
3. UTM REFERENCES

INT: 2986-75

NATIONAL REGISTER OF HISTORIC PLACES
PROPERTY MAP FORM

DATE ENTERED

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- ENCLOSE WITH MAP

1 NAME

HISTORIC Derby Waterfront District

AND/OR COMMON

Same

2 LOCATION

CITY, TOWN Salem VICINITY OF COUNTY Essex STATE MA

3 MAP REFERENCE

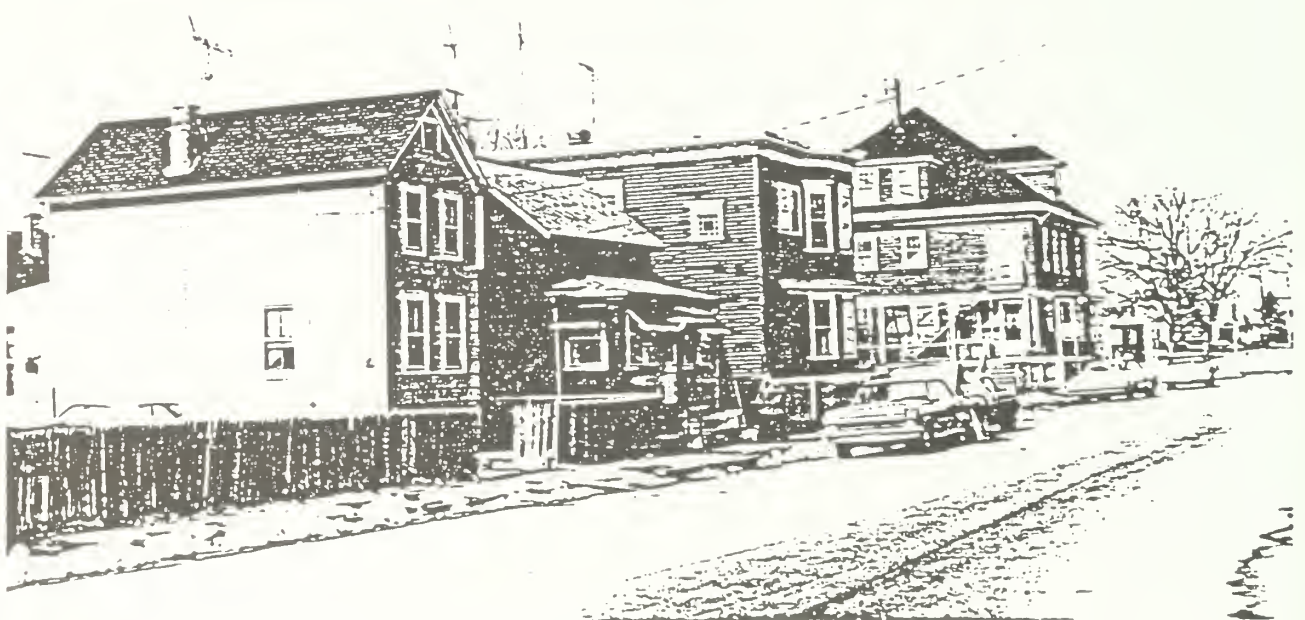
SOURCE USGS, Salem Quadrangle

SCALE 1:24,000 DATE 1970

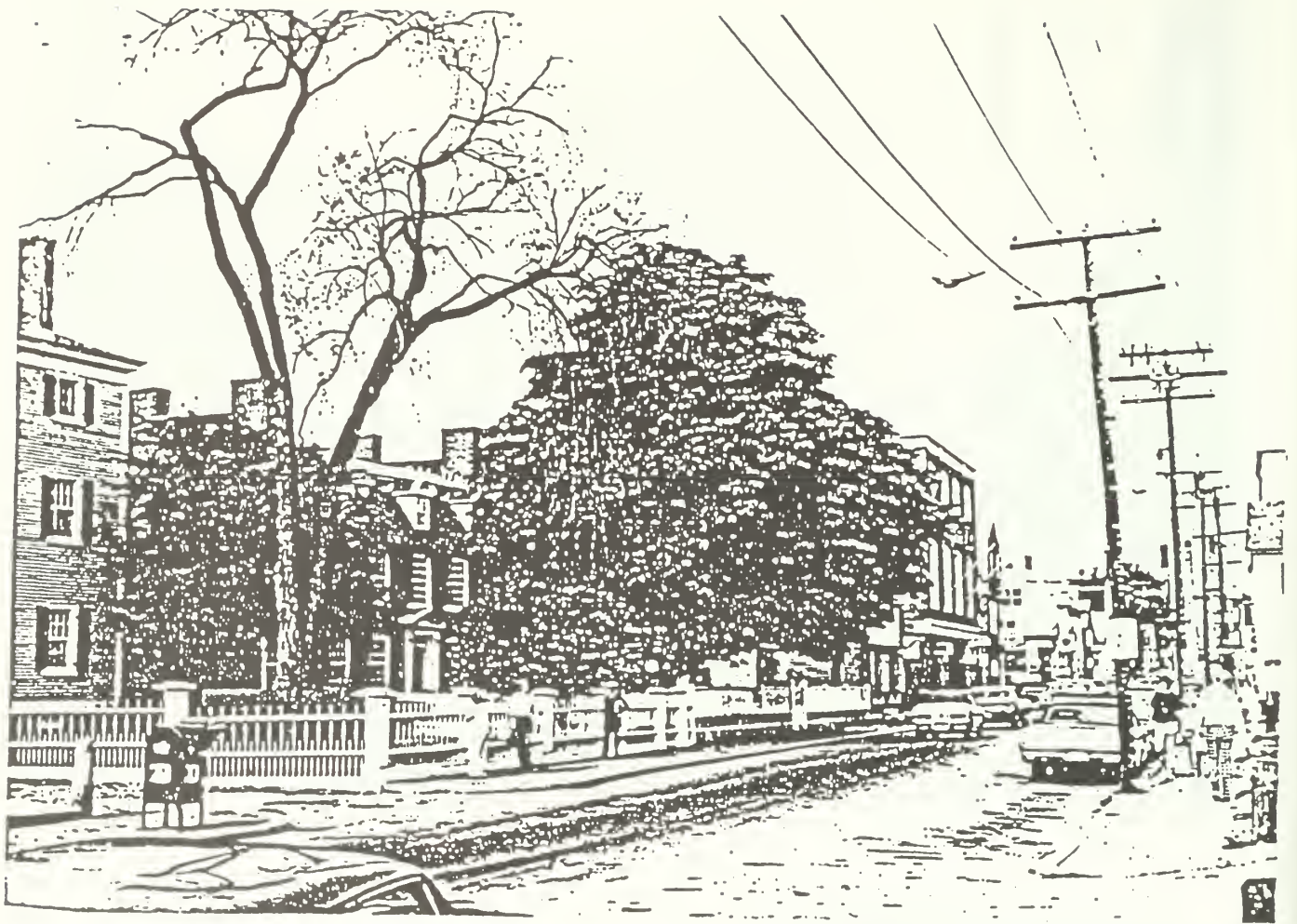
4 REQUIREMENTS

TO BE INCLUDED ON ALL MAPS

1. PROPERTY BOUNDARIES
2. NORTH ARROW
3. UTM REFERENCES







Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
August 1975
Historic Salem, Inc., 15 Summer Street,
Salem, MA 01970
Salem Harbor and rear of houses on Kosciusko
Street, looking southeast from the
cupola of the Custom House. Houses
visible, left to right: 79 - 84.
Photograph #7

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
March 1976
Historic Salem, Inc., 15 Summer Street,
Salem, MA 01970
Looking northeast down Derby Street.
Buildings on left: 34 - 39.

Photograph #11

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
March 1976
Historic Salem, Inc., 15 Summer Street,
Salem, MA 01970
Looking northeast down Derby Street toward
Block House Square. Buildings on left
46 - 49.
Photograph #12

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
March 1976
Historic Salem, Inc., 15 Summer Street, Salem
MA 01970
Looking northwest down Daniels Street.
Buildings on left: 97-95.
Buildings on right: 90-86.
Photograph #13

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
March 1976
Historic Salem, Inc., 15 Summer Street,
Salem, MA 01970
Looking northwest down Hardy Street toward
Derby Street. Houses visible on left:
105, 104, 103 and 60. 18 is at right.
Photograph #14

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
March 1976
Historic Salem, Inc., 15 Summer Street, Salem,
MA 01970
Looking down Turner Street northwest toward
Derby Street. Houses on left: 120 and 20.
Houses on right: 115, 114, 113, 112, 62.
Photograph #15

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
August 1975
Historic Salem, Inc., 15 Summer Street, Salem,
MA 01970
Looking northeast from Salem Maritime Site.
Houses visible on left: 6 - 11
At right is 51.

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
March 1976
Historic Salem, Inc., 15 Summer Street,
Salem, MA 01970
Looking northeast down Derby Street from
Daniels Street. Houses on left, left
to right: 11 - 16.
Houses on right: 57 - 60.
Photograph #9

Derby Waterfront District
Salem, MA
Jacob S. Wolfson, photographer
March 1976
Historic Salem, Inc., 15 Summer Street, Salem,
MA 01970
Looking down Derby Street southwest from
Becket Avenue: 30 - 24.
Photograph #10



APPENDIX C.

EDWARD W. CARBERG REPORT

**“The Sanborn Estate and the St. Joseph’s Society Building”
A Report by Edward Windsor Carberg
1986**

The Stanborn estate and the St. Joseph's Society Building ,

a Report - by Edward Windsor Carberg

part I

(at 160/162 Derby Street) (built 1840s?/1908)
or earlier

- 1 -

This report deals with two very different buildings , one that was , and was demolished in 1908 , and its successor , the St. Joseph's Society Building , a structure of considerably less style than its predecessor , but part of the orderly succession of buildings on the site , 160/162 Derby Street . Indeed , the St. Joseph's Society Building has some historic value , because it is a PRE-FIRE structure , escaping the enormous 1914 conflagration that struck Salem by only a few blocks . But first , I shall unfold the story of its predecessor .

If this writer or anyone from the present day , 1986 could actually make a "time machine" back to the period of the West India Goods' Store's erection , just before the War of 1812 , or , somewhat later , to the West India Goods' Store's first listing , in the 1836/37 Salem City Directory , he could very likely recognize this structure , then , as now , at the Palfray St. corner . But looking east from this old shop , on the same side , a VERY DIFFERENT sight would next come into view .

The sight observed would be of a residential property , a "brick dwelling house" bordering the east corner of Palfray Court and Derby Street , but set RIGHT UP AGAINST THE CORNER , as the St. Joseph's Society building presently is . This was the structure present in the latter 1830s , when Charles Dexter (1799-1861) of Essex , Mass. , was the storeclerk or grocer in the adjoining West India Goods' Store , also known as the "Rum Shop" . Unfortunately for this researcher or anyone looking into the architecture of that era , no drawings or old photographs exist of the brick home ; every photo including this view dates from the period 1909 and after , of the present St. Joseph's Society Building . The proof of the home's being constructed of brick comes from earlier deeds and the 1897 Salem Atlas , which has a house diagram on the site co-

Sanborn Estate/St. Joseph's Society Building, cont'd.)

-lored red for brick , with a little -2- white addition in the right rear of the house , possibly the kitchen (?) or a shed addition .

The family which was closely associated with this corner in the early 1800s was the Sanborns . As with many entrepreneurs in Salem at that time , the Sanborns did not originate in the "Witch City" . Theophilus Sanborn , a leading merchant in the Derby Wharf area , was born in Gilmanton , New Hampshire , on May 12, 1785 . Emigrating to Salem before 1809 , Theophilus became engaged to Lydia Eustace (or Eustice ; 1782-18) of Salem , and afterward they were married . Sanborn and his wife , as far as can be determined , NEVER lived in the home at the corner of Palfray Court , nor in the stretch of land east to the Daniels St. corner . In the first Salem Directory (1836,37) he is listed as a "woodwharf" proprietor , at 115 Derby St. , right along the northern border of what is now all part of Derby Wharf (the number was later raised to 175th , and the structure was gone , apparently , by the early 1900s with the company known as "Thomas Sanborn & Company" . Theophilus was in partnership with Franklin T. Sanborn (1818-) and George Sanborn (1816-1906) , two of his sons .

Sanborn's home was at 5 Becket St. , Salem , a "Greek Revival"-style home which has long since disappeared . In 1836 , Caleb M. Ames (1797-1851) , stambler , was listed at 94 Derby St. (later 154) , at the northwest corner of Derby and Daniels Sts. , followed westerly by John McMullen (1800-1851) , an Irish-born grocer , at 98 Derby St. (later 158) , and William Moses Townsend (1806-1840) , shoedealer , at 102 Derby St. (later 162) , the easterly corner of Palfray Court .

Unfortunately , researching the Sanborn holdings between Palfray Ct. and (east to) Daniels St. has not been easy . Theophilus Sanborn , son of Lowell Sanborn (1751-1823) , a churchdeacon in the Gilford section of Gilmanton , N.H. had control of the Palfray Ct.-Derby St. corner at least as early as the 1843 ^{Polish Club Lot}

It thusfar I have been unable to determine from WHOM he acquired it , and his father had no Salem connections , and his brothers , Richard Sanborn (177

1849) , Lowell Sanborn, jr. (1781-1850) , Elisha Judkins Sanborn (1783-1845) and
Muel Gilman Sanborn (1787-18) , as far as is known , had no connections with
the "Witch City" either . (All their biographical information can be found in
The Sanborne or Sanborn Genealogy (1194-1898) in England and America (1899) .)
By the 1851 Salem Map , three buildings are shown under the aegis "T. Sanborn"
the house at Palfray Ct. and two others east of it , the furthest at the Dan-
iels St. corner .

What Theophilus did with his property holdings on this side of Derby
St. is murky , at this writing . The wooden building housing "The Derby Cafe" ,
standing east of the Sanborn House site , was said to have been built in the
"Federal" period (beginning of the 1800s , at least) , meaning it may have
been erected c.30 years before Theophilus's dwelling . However , a misguided
"Colonialization" or 'restoration' of the structure in the last 15 yrs. has
given it , with the details of a wide gambrel roof and cedar shingles , an ap-
pearance it never had originally . (When I saw it , in my younger years , it
was a house of simple lines , wooden , topped by a 'saddle' roof , almost ap-
pearing to be of the "Romanesque Revival" period , rather than the earlier "Fe-
deral" one .) The wooden house beyond it , formerly at the Daniels St. corner,
demolished in the 1950s to widen the streetcorner (and many historic homes have
been lost over the years to similar errors in judgement) , was a plain build-
ing , most likely put up in the early "Greek Revival" era (as with Sanborn's
stick dwelling) . Had this house been Caleb Ames's 'made-over' stable ?

After living in the "Witch City" c.51 years , Theophilus Sanborn died
on Dec.13, 1860 . His properties were divided amongst the sons mentioned ear-
lier , as well as his daughter , Lydia Sanborn Russell (1821-1896) , her hus-
band , George Russell (1816-1890) , sister Caroline L. Sanborn Kimball (1825-
1885) and her husband , David C. Kimball (1873) ? , and sister Lucy A. San-
born Havend (? ; 1830-) of Charlestown , Mass. These siblings 'held on' to
Derby St. estate until Oct.30 , 1867 , when they sold it to John Hurley
(Prob.1844-d.after 1874) of Salem , and (his brother?) Michael Hurley of Lynn

Sanborn Estate, etc., cont'd.)

-4-

for \$2271.42 , consisting of "undivided seventh parts of a certain parcel of land WITH THE BRICK DWELLING HOUSE AND OTHER BUILDINGS THEREON , SITUATED ON DERBY STREET , in said Salem" (Essex County Registry of Deeds , Vol. 733, P. 179).

The next year , Elizabeth M. Sanborn , minor daughter of the late Osgood Sanborn (1829-d.before 1868) , another Sanborn heir , through her guardian , James Emerton (? ; possibly the one born in 1789 in Salem) , to John Hurley and Michael Hurley (again) , for \$378.57 , on March 31, 1868 , their payment being "the highest bid made for this remaining portion of the Sanborn property" This sale is found in Vol. 790, P. 296 , in the Essex County Registry of Deeds , and it was registered almost two yrs. later , on Feb. 19, 1870 . This last deed is particularly interesting in that it states , as a sidelight , that the Sanborn heirs had earlier sold a portion of the Derby St. estate to Mary Driscoll , wife of Salemite Patrick Driscoll . Researching this sector of the estate might be taken up later .

John Hurley and Michael Hurley's acquisition of the Sanborn estate brought a new element into Derby St. real estate transactions : first-generation Irish entrepreneurs becoming involved in business . The Hurley ownership of this land lasted , in form or another , until 1888 , with John Hurley's name listed on the estate's house diagram as the owner on the 1874 Salem Atlas . The tall , wooden apartment house behind the Sanborn House (now behind the St. Joseph Society building) , now numbered 600 Palfray Ct. , was probably erected in the last years of the Hurley ownership , and its owner was one David Curtin , a teamster , listed also on its diagram in the 1897 Salem Atlas .

The 1881 Salem Directory (the first one in Salem to have residents listed at INDIVIDUAL STREET ADDRESSES , as well as ALPHABETICALLY) shows John Morrissey and John Noonan in residence in the Hurley house , both laborers . The neighborhood was taking on a distinctive IRISH appearance , although a number of the old "Yankee" families 'hung on' in the area , even to the early 20th century . As could be expected , given the 'makeup' (then) of the neighborhood , the next sale was to Irish people , too .

John Hurley, by the way, had taken out a mortgage on this property with the Salem Savings Bank, Salem, on May 29, 1873, noted in the Registry of Deeds, Vol. 1282, p. 186. Sarah Phelan, wife of William Phelan, bought the estate on July 27, 1888, for \$1800.00 (Registry of Deeds, Vol. 1228, p. 399). The Phelans, unlike earlier owners, would NOT be absentee landlords. The 1890-1891 (Merwin) (1821-) Salem Directory states that Mrs. Sarah Phelan was a grocer at 100 Derby St., with Philip P. Phelan in residence as a baker, and Mrs. Sarah Connolly and Michael Condon also living there as tenants.

Confusion begins to arise in the real estate transactions in the late 1880s and early 1890s regarding this property. James H. Sullivan is recorded as having bought the property from Mrs. Phelan on Aug. 2, 1888, for \$1100.00 (Vol. 1228, p. 340), but there was a complication: Kate A. Cottle and her husband, Edward F. Cottle, placed a "Bill in Equity" before the Salem Court, attaching the property of Philip A. Phelan, affecting the sale of the property that Sarah Phelan had earlier bought from Michael Hurley. (Apparently the Phelans owed the Cottles money (?).) The Cottles were Ward 1 residents, and as late as the 1906 Salem City Directory, Edward F. Cottle, "Morrocco dresser" (leather worker), was still listed in the area, living at 10 Herbert St. I have not yet made the final determination, but Sullivan must have transferred the 100 Derby St. property back to Mrs. Phelan before the end of the 1890s.

Salem Vital Records (1849) record that William Wheeler Phelan became engaged to Sarah Curwin in Salem on Jan. 9, 1838. She was most certainly the "Sarah Phelan" who later purchased the Sanborn estate. Patrick Driscoll, who is said to have bought a portion of the Sanborn holdings, was not born in Salem, but he did operate a grocery store at 44 Broad St. (later destroyed by the Salem fire in 1914) in the 1890s. James Sullivan is listed in the Vital Records as having been born in Salem in 1848, son of Daniel and Margaret Sullivan, but could well have been the "James H. Sullivan" listed in the 1888 sale, but the former has NO MIDDLE INITIAL, it is not certain.

The tenants for this vicinity (selectively transcribed) from 1880s to mid-

Sanborn Estate, etc., cont'd.)
1890s , runs as follows :

-6-

(taken from the Salem Directories)

1882 - 98th Derby St. , Daniel Sullivan

1886 - 94th Derby St. (at the Daniels St. corner), William Griffin ,
liquors , 98th " , Daniel Sullivan, John O'Keefe , 100th " ,

Mrs. Mary Griffin, John Doyle
1886-1887 - 100th Derby St. , James Doyle , John J. Mahoney

1889 - 94/96th Derby St. - William Griffin, liquors , 100th " - James
Doyle

1890-1891 - numbers and residents remain unchanged

1893-1894 - numbers remain unchanged ; 98th Derby St. - Daniel
Sullivan , William Casey , 100th " - William Phelan ,
Olivier Plouff , John C. Hamilton , William R. Carr,
pool room (at Palfray Ct. corner)

Obviously , to accomodate liquor stores and later , a pool room , in this part
of Derby St. , there must have been SUBSTANTIAL modifications in the architec-
ture of at least two of the three buildings of the former Sanborn estate , but
what the SPECIFIC changes were , particularly near the Palfray Ct. corner , re-
mains uncertain . Note that most of the residents remain Irish , except for O-
livier Plouff , very likely a French-Canadian immigrant . Also note that WILLIAM
PHELAN first appears at 100th , the first member of that land-buying family men-
tioned at that address .

Without fanfare , the numbering system for Derby St. addresses in the
next Salem Directory , 1895-1896 , was revised UPWARD c.60 points . Thus , the
Daniels St. to Palfray Ct. addresses for 1897-1898 read : 158th Derby St. - Va-
cant , 160th " - Mrs. Sarah Phelan (she had given up her grocery business by this
time) , Mrs. Catherine Brennan , 162th " - Vacant . The 1899-1900 Salem Directory
introduces two new ethnic elements into the area , Jewish and Polish . The lis-
tings were : 156th - Miss Alice P. Hafey , James H. Donahue , Paul Yarfscouka
(spelling unreliable , but probably Polish) , Mrs. Bridget Welch , 160 - Sem
(first name misspelled?) Glovsky , pedler (probably Jewish) , Joseph Mulski
(Polish) , ^{Toefl} Tophil Czinscofski (Polish ; his first name is very likely misspelled)

In the late 1890s , Sarah A. Phalen (note spelling change) , now wi-
dowed , moved to 228th North Street , but Philip R. Phalen , (house) painter ,

as listed as having his business at 158th Derby St. in 1895 , while living next door at 160th , in the 1895 Salem Directory . James H. Sullivan was listed as living at 395th Lafayette St. in that year . The last Directory to show a 'mix-ure' of ethnic groups in the 154-162 block on Derby St. was (1901) , showing 156th (Daniels St. corner) - John B. Terrio (obviously misspelled and most likely French-Canadian) , John H. Arrington (an old Salem name ; he very likely was a "Yankee") , 160th - Sem Glovsky was again listed , joined by an M. Sked-eticski (the spelling of this Polish name is somewhat doubtful) , 162nd - Va-
nt Store .

At the end of the 19th century , the property at the Palfray Ct. corner passed out of the hands of the Phelan family ; WHEN precisely and HOW will have to be resolved by future research . The new owners who finally emerge from the 'fog' , in 1904 , were Louis and Sarah Dembofsky . Dembofsky , like Aaronson , Bakowitz , Levin , and Collier , is an old Jewish name in Ward One : the Dembofskys were probably immigrants from Poland or from the part of Russia bordering on Poland . They did not live in the Polish area , however , but (1906 Salem Directory) at 10 Lagrange(now Palmer) St. in South Salem , and Mr. Dembofsky's occupation was not listed in the Directory . On Sept.27,1904 (in Registry of Deeds , V.1755 , P.378) , Dembofsky and his wife sold the estate to another Jewish couple , Walter and Anna Shapiro of Lawrence , "for \$1.00 and other valuable considerations" .

This was the first of the 'paper sales' involving the Sanborn-Hurley property ; the Dembofskys and the three couples who succeeded them in owning the estate , had basically a NOMINATE hold over it . They did not have the financial resources for 'normal' sales as even the Irish families could afford , preceding them in the area . In fact , the Registry of Deeds states that the Dembofskys held a private mortgage to Mrs. Xaviera Swiniarski , for \$400.00 , at the time of the sale to the Shapiros . (Its fate is not known presently .) The Shapiros kept the property until Nov.28,1904 , when they sold it to Polish Salemites Wofzeucz(? and Francyska Pokorski for the nominal dollar "and other valuable considerations"

inborn Estate, etc., cont'd.)

-8-

Essex County Registry of Deeds , Vol. 1763, p. 306) The Pokorskis held the estate for a relatively short time , selling it to Joseph Szczechowicz (or Schechowicz) a Salem "morrocco dresser" (leather worker) , and his wife , Maryanna , on June 27, 1905. As was hinted at earlier , the same 'arrangements' as had been followed in earlier sales prevailed in this one .

Before this report comes to a conclusion , two points must be made : first , i have not DETAILED the separation of the two properties EAST of the inborn house , nor that of 611 Palfrey Ct. (behind it) , in sales stretching from John Hurley's day down to the 20th century ; these matters might be handled in future research . Secondly , the Szczechowicz bought ANOTHER piece of the land in the inborn block from Martin (or Marcin) Golin , a Polish grocer in ward One . Golin was living at that time at 2811 Herbert St. (burned down in the Salem Fire) , and had his grocery store at 20211 Derby St. (ditto for that structure) . He purchased his chunk of the inborn inheritance from another source (again , something for future investigation) and moved to 15611 Derby St. , opening his "grocery and provision" store there in 1907 , and sharing the building with Stanisław Sabik , a "morrocco dresser" , formerly of 2011 Grant (now Kosciusko) St.

I will not list the Polish tenants of the Palfrey Ct. to Daniels St. "block" , on Derby St. , for the years 1903-1908 , except for certain residents . In 1903-1904 Salem Directory , 16211 Derby St. was listed as a "Vacant store" , and in 1905" , 16011 was the home of JOSEPH SZCZECHOWICZ (mentioned above) , with the "Sons of Poland Hall" having established itself next door at 16211 , on the Palfrey Ct. corner . (The hall had already been there in the 1904 listing.) Szczechowicz was still living there in 1906 , with Antoni Wierock , a shoemaker , and Yan (correctly : Jan) Ubuchowski , a laborer . The St. Joseph's Polish Beneficial ^{Society} was installed now at 16211 Derby St. , along with St. Joseph's Polish Band (my grandfather , Konstanty Hincman , was a member of St. Joseph's Society) . This would be the same through 1907 . Szczechowicz and his wife and family moved to 911 Carlton St. in this year .

The year 1908 brought the real "Part II" to this report ; although it is not apparent from the Salem Directory listings for that year (or mentioned), it was the time of the erection of the PRESENT St. Joseph's Hall building . Whatever shape the old Sanborn-Hurley-Phelan House was in by this time , it was "swept away" in the construction of this three-story brick edifice which still dominates this part of Derby St. (perhaps some of the Sanborn House's BRICKS were used in the new building?) . Joseph Szczechowicz himself , as well as other Polish men and other Polish families , gave money to help in this building's erection , and the 1909/10 Salem Directory the structure is mentioned for the FIRST time : "St. Joseph's Hall Bldg." , 158-162# Derby St. , housing the hall facilities , as well as William Soboczinski , lunch (room) ; John Kwiatkowski (tenant) , foundryman ; Joseph Laskowski , laborer (tenant) , and W. SZCZCHOWICZ , pool (room ; he was probably a relative of the former tenant of the Sanborn property) .

2. St. Joseph's Hall Building ^① has seen many events in the 78 yrs. since its construction , and most of these ^{relating to} ~~touching on~~ the cultural life of the surrounding Polish community . (I have recently learned that even Alpers' Men's Store , a store noted for fine men's clothing , and begun by members of a prominent Salem Polish family , was once quartered on the first floor of this building.) Now , the large hall is closed and the building is only partially occupied , with a need for substantial repair and renovation . Yet (the building still remains ^{is significant} a reminder of the origins of Salem's Polish community and as the lineal successor to the late Sanborn-Hurley House , preceding it on this site . It is ^{formerly on this site .} likely that its day of restoration is not far off .

Additional Note: The actual sale of the property at 160/162# Derby St. by Joseph Szczechowicz and his wife , Maryanna , to the St. Joseph's Polish Roman Catholic Society (this transaction not mentioned earlier in the text) was made on Dec. 4, 1906 , "for \$1.00 and other valuable considerations" (Registry of Deeds , Vol. 1 , p. 543) As was mentioned in the report , the Szczechowicz family moved out a short time afterward .

Property at ^{SW} corner of Palmyra & Derby St.

Donation of land Sanborn-Hurley House ca. 1840-

Selective Ownership List , 160/162

Derby St., etc., Sanborn

* - exact Sanborn ownership Estate/St. Joseph's Society
beginnings have yet to be established. Building

- 1.* (1840s-1860) - Theophilus Sanborn
- 2.(1860-1867/68) - Sanborn Heirs (Benjamin R. Sanborn ,
George Sanborn , Franklin L. Sanborn, etc.)
- 3.(1867/68-1888) - Michael Hurley & John Hurley
- 4.(1888-) - Sarah & William Phelan ; James H. Sulli-
van
- 5.(-1904, Sept. 27) - Louis & Sarah Dembofsky &
- 6.(1904, Sept. 27-1904, Nov. 28) - Anna & Walter Shapiro
- 7.(1904-1905) - Francyska & Wofzeucz(?) Pokorski
-1906) - Martin Golin ; (1906 - Francyska & Wof-
zeucz Pokorski)
- 8.(1905-1906) - Joseph & Maryanna Szczechowicz (Sche-
howicz)
- 9.(1906-Present) - St. Joseph's Polish Roman Catholic
Society

& - as with the Sanborn property beginnings , some mys-
teries remain about the ownership of 160/162 Derby St.
in the period 1888-1904 , although a number of sources
, including the 1897 Salem Atlas , list Sarah Phelan as
its owner in that period . Further research may make
other discoveries concerning the land.

St. Joseph Hall Building - The Polish Club : 1909

Addenda - "Moses T. Upton House" and "Shepard/Ames
-1- House" Reports

(In Moses T. Upton ")

Joseph Barss (1776-1824) was the Liverpool ,
Nova Scotia , privateer captain who captured
many American merchant ships with his "Liver-
pool Packet" in the War of 1812 , and later
was unsuccessfully pursued by Moses T. Upton's
father , John Upton .

(In Shepard/Ames ")

Stephen Webb (1801-1869) was a Salem clerk ,
probably a maternal cousin of Capt. Michael
Shepard , and was the son of Salemites Benja-
min and Hannah (Bray) Webb . He sold the Pal-
fray Ct. property to Shepard and Shepard's
ward , Ebenezer Tibbetts , in 1840 .

Mary Marston , later wife of Edward Russell
Seccomb , was probably not born in Salem ,
and DID NOT marry him in this city (they lived
in Boston , of course) .

Mary Asenath Breed Tibbetts (1823-1906) ,
wife of Ebenezer Tibbetts (b.1820) , Salem
seacaptain , was born in Salem , daughter of
Holton Johnson Breed and Mary (Symonds) Breed.
She outlived her husband , but at present it

(cont'd)

is difficult to determine PRECISELY by how many yrs. that happened .

Mrs. Mary L. (Dudley) Ames (1820-1885) , who purchased the Shepard House from Shepard's heirs , was born in Maine (Salem City Hall Records - Deaths) the daughter of Edmund and Rebecca (Bangs) Dudley . She was , as has been mentioned in the regular text, the widow of Michael E. Ames (died before 1861?) , and died of pneumonia in Salem , at 63 Essex Street, being afterward buried in Harmony Grove Cemetery . Note the DIFFERENCE between her residence at time of death here and that given in the course of the Shepard/Ames House report . She was listed as living at 218 Essex Street in that text , when she died .

APPENDIX D.
THE SALEM PROJECT ACTION PLAN

Draft - September 1988

DRAFT
THE SALEM PROJECT
ACTION PLAN

September 1988

U.S. Department of the Interior / National Park Service

INTRODUCTION

The Salem Project has begun. This exciting and challenging project is part of a larger effort led by the Salem Partnership as well as other organizations, groups, and individuals in the community to revitalize the city of Salem. This revitalization effort will extend beyond the city of Salem, into Essex County, as other communities become involved.

For more than 350 years, Salem, Massachusetts has looked to the sea for its livelihood. Without Salem's protected harbor, there would have been no settlement, maritime trade, privateering, industry, and retail activity as we know it today. The fate of Nathaniel Hawthorne and his contributions to literature, the infamous witch hysteria of 1692, Salem's distinctive architecture, and its ethnic neighborhoods may have been quite different without its seafaring roots. During this period, Salem was repeatedly successful at seizing opportunity, first at sea through fishing and trade, and then on land through industrial and retail activity. Today, promotion of Salem's rich history provides another opportunity to improve the community's quality of life and foster continued growth and development. Through a concerted effort by the public and private sectors and public involvement, Salem will become the central destination point from which tourists visit other related areas in Essex County.

It is the goal of the Salem Project to fully realize the potential of both physical and human resources at Salem Maritime National Historic Site, the City of Salem, and those resources in Essex County related to Salem. This includes: (1) protection and preservation of the area's cultural, natural, scenic, and recreational resources; (2) providing for the enjoyment, appreciation, and understanding of Salem's rich history; and

(3) cooperating and working closely with others to preserve similar resources of local, state, regional, national, and international importance for the public benefit.

As an integral part of this revitalization effort, The Salem Project's primary focus will be development, enhancement, and interpretation of Salem's major themes--the Sea, Settlement, Maritime Trade, Witchcraft, Privateering, Literature, Architecture, and Industry. Many of these themes are represented in other communities in Essex County and contribute greatly to the region's heritage.

The Salem Project will inventory and analyze the most important resources related to the major themes. This examination will be quite extensive considering that Salem contains 16 of the 62 properties in Essex County listed on the National Register of Historic Places as nationally significant. This does not include the hundreds of other properties on the National Register and those cultural, natural, scenic, and recreation resources that have not been surveyed. Efforts will then concentrate on how best to preserve, develop, manage, and interpret those historic sites and resources. Recognizing the importance of Salem Maritime National Historic Site's role in preserving and interpreting the maritime theme, future plans for visitor use and interpretation, resources management, access/circulation/parking, development, and park operations will be developed as a part of the Salem Project.

This Action Plan outlines a program for planning, design, and construction that will serve as a catalyst for the revitalization of Salem Maritime National Historic site, the city of Salem, and related areas of Essex County. This first Action Plan is not intended to be a one time event, but the beginning of a process that can be updated and refined. The results of the early planning studies could change the direction of the program in future years.

BACKGROUND

Over the last year much enthusiasm and interest has been generated to plan for Salem's revitalization. A dynamic group, the Salem Partnership, was formed in August 1987. It is a group of representatives from business, government, nonprofit organizations, and the general public whose aim is, simply, the revitalization of the City of Salem. The National Park Service is a part of this organization and represented on its Board of Directors. By pooling resources and fostering cooperation among various public and private interests, the Partnership's aim is to achieve the following goals:

- (1) economic revitalization; (2) national and international promotion of tourism;
- (3) preservation of historic sites; (4) cultural and educational development; (5)
- improvements in transportation, traffic, and parking; (6) marketing the city as the
- North Shore's banking, legal, and business center; and (7) enhancement of the
- quality of life.

The Salem Partnership has recently prepared an Action Plan for economic revitalization, public relations/marketing, and historic resources/educational and cultural development. This three-to-five year plan provides their blueprint for Salem's future. There are numerous other organizations, groups, and individuals in the community which have diverse interests and visions for Salem's future as well.

As a result of this grassroots effort, Congressman Nicholas Mavroules, U.S. Senators Edward M. Kennedy and John F. Kerry, State Senator Frederick E. Berry, State Representative J. Michael Ruane, and city of Salem Mayor Anthony V. Salvo are supporting plans to revitalize the City of Salem, Salem Maritime NHS, and Essex County.

Federal funding for Salem Maritime NHS has been approved by a joint U.S. Senate and House Subcommittee for acquisition of the Polish Club and land; and for planning, design, and construction.

PROJECT COORDINATION

The National Park Service will continue to work closely with the Salem Partnership to update and refine this Action Plan so that it is compatible with their Action Plan. The two Action Plans complement each other in that the Salem Partnership's plan has identified projects to be completed within 3-to-5 years, while the National Park Service's plan has identified studies and projects to be implemented starting now and continuing over the next 10 years. This approach ensures immediate results and improvements while planning for the future. As this effort continues, the Salem Partnership and the National Park Service will continue to merge their short-term and long-term approaches into a unified strategy for revitalization. The National Park Service will continue to be a member of and work closely with the Salem Partnership's Economic Revitalization, Public Relations/Marketing, and Historical Resources/Educational and Cultural Development committees.

Now that planning has formally begun, the National Park Service will actively seek and work closely with federal/state/local levels of government, the community, the private sector, and public to solicit their participation, input, and assistance. As planning progresses, these working relationships will become clear and more formalized. Public involvement will be an integral part of the planning effort from the very beginning. Ideas and comments will be solicited by a variety of means ranging from public involvement

newsletters to informal public open houses to structured public meetings. Only through developing close working relationships and extensive public involvement can project goals be fully realized.

PLANNING STRATEGY

In order to meet the goals of the National Park Service, the Salem Partnership, as well as the goals of the Salem community and Essex County, the interest and involvement of the National Park Service must be broadened beyond the boundaries of Salem Maritime NHS. The scope of this effort will focus on Salem Maritime NHS and the city of Salem, and will also include other resources in Essex County that relate to the major themes. As stated earlier, we will work closely with the community to ensure protection/preservation of significant resources, while providing for the enjoyment, appreciation, and understanding of the area's rich history. The following four phases provide a long-range planning strategy to guide Salem Maritime's future direction, as well as that of the city of Salem and those related resources in Essex County:

1. Future Opportunities (Action Plan)

This Action Plan completes the first phase of planning which provides a vision for the future by defining the project's purpose, goals, and objectives; determines the National Park Service's role in planning for the future of Salem Maritime NHS and the revitalization of Salem and Essex County; outlines actions to realize our collective vision; and provides completion dates.

2. Resources Inventory (Reconnaissance Survey)

This phase will inventory Salem Maritime's, the City of Salem's, and Essex County's related cultural, natural, scenic, and recreation resources; analyze the region's multitude of themes; determine resource significance; identify resource threat and integrity; and recommend actions for resource protection/preservation and visitor use by the National Park Service, the Commonwealth of Massachusetts, Essex County, the City of Salem, and others. This document will provide the necessary framework to conduct and prepare the Comprehensive Management Plan.

3. Comprehensive Planning (Comprehensive Management Plan and Support Documents)

Comprehensive planning, as depicted by completion of a Comprehensive Management Plan will respond to the overall project purpose, goals and objectives, issues and concerns, and the results of the Reconnaissance Survey. It will provide solutions and recommend specific actions for visitor use and interpretation, resource management, access/ circulation/ parking, general development, and operations continuing for the next 10 years. Planning will require extensive public involvement, recognizing the interdependence between the National Park Service, the Salem Partnership, the private sector, the community, and other interest groups to achieve common goals.

4. Implementation

This phase will be ongoing. As projects are identified during the three phases of planning, strategies for implementing these actions will be recommended. Funding sources (federal and nonfederal), management responsibilities, and a timetable for completion of projects will be identified.

PROGRAM

The program shown is broken down into two levels. The first being those projects which are funded for fiscal year 1989. The second, being the anticipated program necessary to guide design and construction activities that will begin now and continue over the next 10 years. During preparation of the Reconnaissance Survey and the Comprehensive Management Plan as well as other studies, other projects (planning, design, and/or construction) will be identified and added to the program. It is important to note that this process is dynamic and requires continual reassessment and updating of the overall program.

I. The following actions comprise the planning and design program for fiscal year 1989 which begins October 1, 1988 and ends on September 30, 1989. The program is based on a funding level of \$1.1 million dollars for the year. Completion dates for each project are shown, however, the budget for each project is still being determined.

A. Land Acquisition (\$500,000)	Completion Date
1. Polish Club	October, 1988
2. Other land within boundary	September, 1989
 B. Planning (\$600,000)	
1. On-site Planning and Project Administration	Ongoing
2. Historic Structure Report (Polish Club)	March, 1989
3. Comprehensive Design (Polish Club)	May, 1989
4. Construction Drawing and Specifications (Polish Club)	September, 1989
5. Reconnaissance Survey	May, 1989
6. Begin Comprehensive Management Plan	July, 1990
7. Project Support Documents	
a. Transportation Study	September, 1989
b. Visitor Use Study	September, 1989
8. Engineering Study Update (Wharves)	December, 1988

II. The following actions are only for those projects that are anticipated to be completed over the next several years. A more complete program will be developed as more projects are identified within the various planning studies.

A. Land Acquisition	Completion Date
1. Resources identified in planning studies	

B. Planning & Design

- | | |
|--|--------------------------|
| 1. Interpretive Prospective
(Salem Maritime NHS and other
sites as identified) | September, 1990 |
| 2. Archeological Survey (Salem
Maritime NHS) | June, 1990 |
| 3. Archeological Survey (Other sites
as identified) | start -
October, 1989 |
| 4. Administrative History (Salem
Maritime NHS) | September, 1991 |
| 5. Historic Resource Study (Other
sites as identified) | start -
October, 1989 |
| 6. Historic Structure Report (Salem
Maritime NHS and other sites as
identified) | September, 1991 |
| 7. Historic Structure Report (Other
sites as identified) | start -
October, 1989 |
| 8. Historic American Building Survey/
Historic American Engineering Record
Program (Other sites as identified) | October, 1989 |
| 9. National Register Nomination Forms
(Other sites as identified) | start -
January, 1989 |
| 10. Special Studies (as identified) | start -
October, 1989 |

C. Operations

- | | |
|--|--------------------------|
| 1. Staffing necessary for resource
preservation, interpretation, and
visitor use (Salem Maritime NHS
and other sites as identified) | start -
October, 1989 |
| 2. Technical Assistance Program
(Consultation services necessary
for resource preservation, interpretation
and visitor use) | start -
October, 1989 |

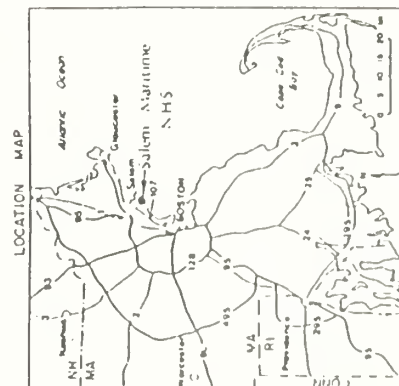
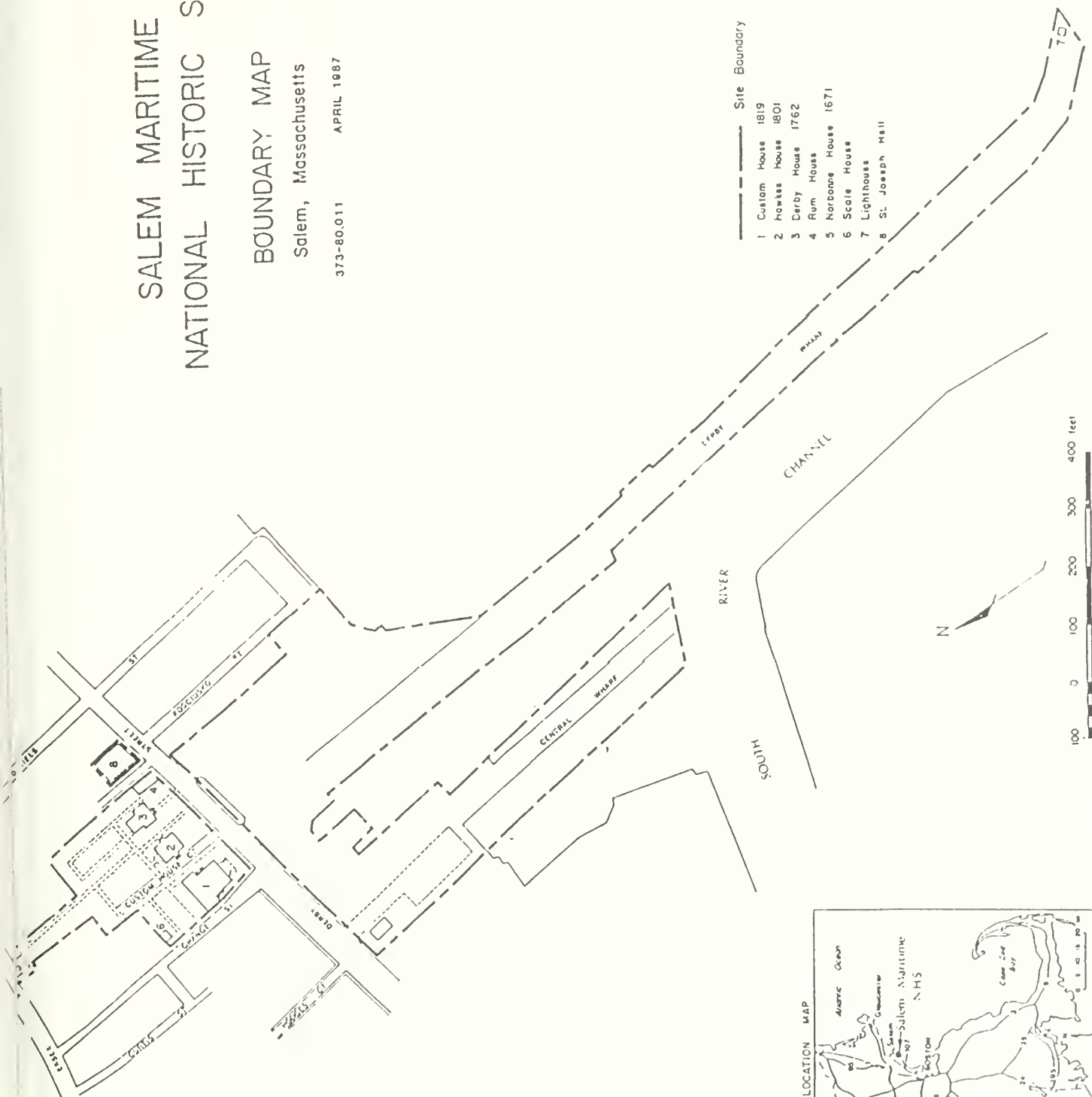
D. Construction

- | | |
|---|--------------------------|
| 1. Adaptive Reuse for Polish Club | September, 1990 |
| 2. Highway signs, Orientation signs, Directional signs, and Entrance signs | September, 1990 |
| 3. Exhibits (Salem Maritime NHS) | start -
October, 1989 |
| 4. Exhibits (Other sites as identified) | start -
October, 1989 |
| 5. Audio Visual Program (Salem Maritime NHS, City of Salem, and Essex County) | September, 1990 |
| 6. Other Projects as identified | start -
October, 1989 |

SALEM MARITIME NATIONAL HISTORIC SITE

BOUNDARY MAP Salem, Massachusetts

373-80.011 APRIL 1987



APPENDIX E.

TRIP REPORT/ADAPTIVE REUSE PROPOSAL

**Donald R. Cumberland, Museum Specialist
Curatorial Services Division, WASO
January 11-13, 1988**

*Includes a portion of the
Appraisal of Polish Club Property
November 1988*

APPENDIX 1

THE NORTHERN ILLINOIS STATE UNIVERSITY

Donald E. Cunningham, Director
1000 North Dearborn Street
Chicago, Illinois 60610

Includes a number of
photographs of the
University of Illinois

TRIP REPORT

DRAFT

SALEM MARITIME NATIONAL HISTORIC SITE

January 11-13, 1988

Museum Specialist Donald R. Cumberland

Curatorial Services Division, WASO

During January 11-13, 1988, I visited Salem Maritime National Historical Park (SAMA) to gather information to update storage recommendations addressed in the park's Collection Management Plan (CMP). The plan was begun in 1985 and is now being revised by Anna Jordan, Staff Curator in the Curatorial Services Division, WASO. While there, I met with Park Curator Dave Kayser. This trip report will be included in the CMP as an appendix.

A major change since the CMP team visit in 1985 is the negotiation for purchase of Saint Joseph Hall, a structure adjacent to park boundaries. The park intends to use a portion of the building for museum archival and collection storage. See Attachment 1 entitled "Description of Subject Property" for specific data regarding the building.

The first floor of the three story brick structure will be used for offices and the basement will be for general storage of non-museum items. Museum collection storage and work areas will be on the second floor. The third floor will be used for a paper conservation laboratory, research, work, and collection storage areas for the archives. Drawings in Attachment 2 suggest space arrangements for the second and third floors and a proposed second floor mezzanine.

No detailed drawings of the building were available so measurements were taken using a measuring tape. Because of the building's irregular shape (i.e., few 90° angles and exterior walls of varying lengths), the drawings in this report may not be totally accurate.

General Recommendations:

The following general actions are necessary to upgrade the building for collection management use:

1. Windows on the second and third floor north and northwest corner walls should have "smoked glass" glazing to give a "darkened room" appearance from the exterior.
2. Electrical service for all floors should be installed in conformance with local codes.
3. Installation of a heating, ventilating, and air conditioning system serving all occupied areas should provide conditions suitable to human comfort.
4. A sprinkler fire-detection/suppression system should be installed to provide fire protection for all areas.

5. A security system should be installed to provide adequate intrusion protection for the building and its contents.
6. An elevator should be installed to serve the basement, first, second and third floors and be capable of moving personnel, equipment and objects. The floor area of the elevator should be approximately 100 square feet with a minimum carrying capacity of 5,000 pounds.
7. All interior walls and ceilings should be covered with 5/8" gypsum board to provide a fire resistant covering.
8. The load capability of the the structure should be determined and structural enhancement provided as needed.
9. The archive and collection storage areas should be free of water lines, pipes, electric junction boxes, gas and electric meters, and gas lines.

Second Floor

(See drawing entitled "Saint Joseph Hall-Second Floor-Large Objects Storage" in Attachment 2 for specifics regarding layout of room and arrangement of equipment.)

The second floor is appropriate for museum collection activities because the 16' ceiling height will allow construction of a mezzanine. The following

actions are necessary to convert the second floor into a collection management

facility.

1. A room of approximately 1,140 square feet forming an interior shell within the existing walls will be constructed at the northwest corner of the floor to store large museum objects. The new walls will be constructed of 2"x6" wooden studs and will be insulated with 6-1/4" fiberglass batting with a 6 mil polyethylene vapor barrier on the warm side. The walls will be of a height to support ceiling joists to form a mezzanine with a floor height of exactly 8 feet. The ceiling joists will be supported where necessary by posts to support a minimum 50,000 pound mezzanine floor load. The ceiling will be insulated. The two 3' metal security doors into the room should have deadbolt locks.
2. Walls dividing the space into a curator's office of 160 square feet and a bathroom of 70 square feet should be constructed of 2"x4" or 2"x6" wood studs.
3. A stairway with a minimum width of four feet will be constructed for the safe movement of objects and staff from the second floor level to the mezzanine level.
4. A heating, ventilating and air conditioning (HVAC) system for exclusive conditioning of the large object storage room should be installed. To maintain $50 \pm 3\%$ relative humidity and 20 ± 3 degrees C temperature and provide air filtered for dust and pollutants.

5. Twelve shelving units of slotted angle and metal shelves can be arranged as shown in the drawing in Attachment 2.

Second Floor Mezzanine

(See drawing in Attachment 2 entitled "Saint Joseph Hall-Second Floor-Mezzanine" for details regarding arrangement of equipment.)

A mezzanine constructed over the large objects storage room will support a "Bally" super insulated modular structure for smaller, more environmentally sensitive museum objects. The "Bally" structure should have a dedicated HVAC system capable of maintaining environmental conditions as described in Second Floor action number 4. The structure should have incandescent lighting and sufficient electrical service outlets. See Attachment 3 for "Bally" price and specifications. The "Bally" structure will contain storage equipment as indicated on the drawing in Attachment 2. The cost of the "Bally" indicated in the "Equipment Needs and Cost Estimate" section includes installation, electrical outlets, incandescent lights, and an appropriate HVAC system.

Third Floor

(See drawing in Attachment 2 entitled "Saint Joseph Hall-Third Floor-Archives")

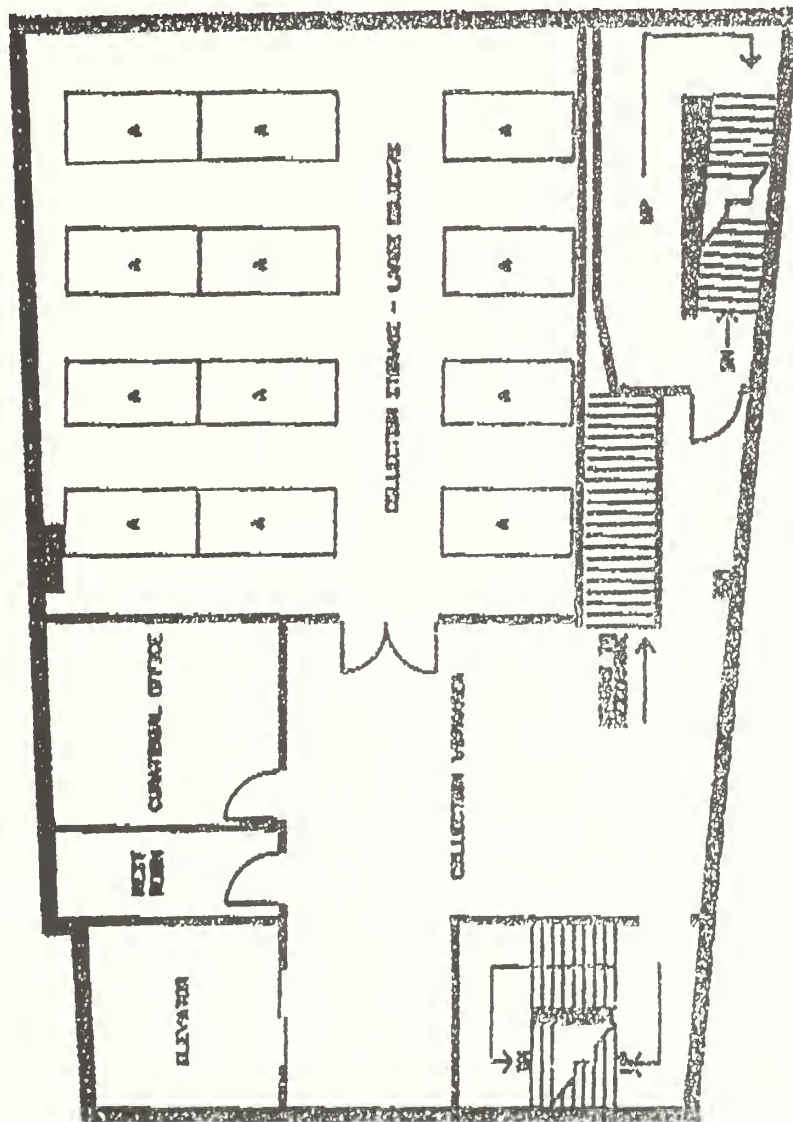
To convert the third floor into suitable archive space the following actions

will need to be taken:

1. Remove the existing partition walls to allow reorganization of space as shown in the drawing in Attachment 2. Bearing walls will need post supports substituted.
2. The 1,100 square foot archive storage room should be constructed as indicated on the drawing in the same manner as the large object storage room on the second floor. Insulation with a value of $R-17\frac{9}{16}$ or higher and a vapor barrier should also be installed within the airspace above current third floor ceiling. The two 3' metal security doors should have a dead bolt lock.
3. The HVAC system for this room must be capable of maintaining $50\pm3\%$ RH and 20 ± 3 degrees C temperature.

Interior walls for the archivist's office of 200 square feet, rest room of 70 square feet, and the conservation laboratory of 200 square feet should be constructed of 2"x4" or 2"x6" wood studs. The laboratory walls should be insulated.

The conservation lab should have hot and cold running water and electric baseboard heat with a room thermostat. A portable dehumidifier will help maintain appropriate RH level within the lab.

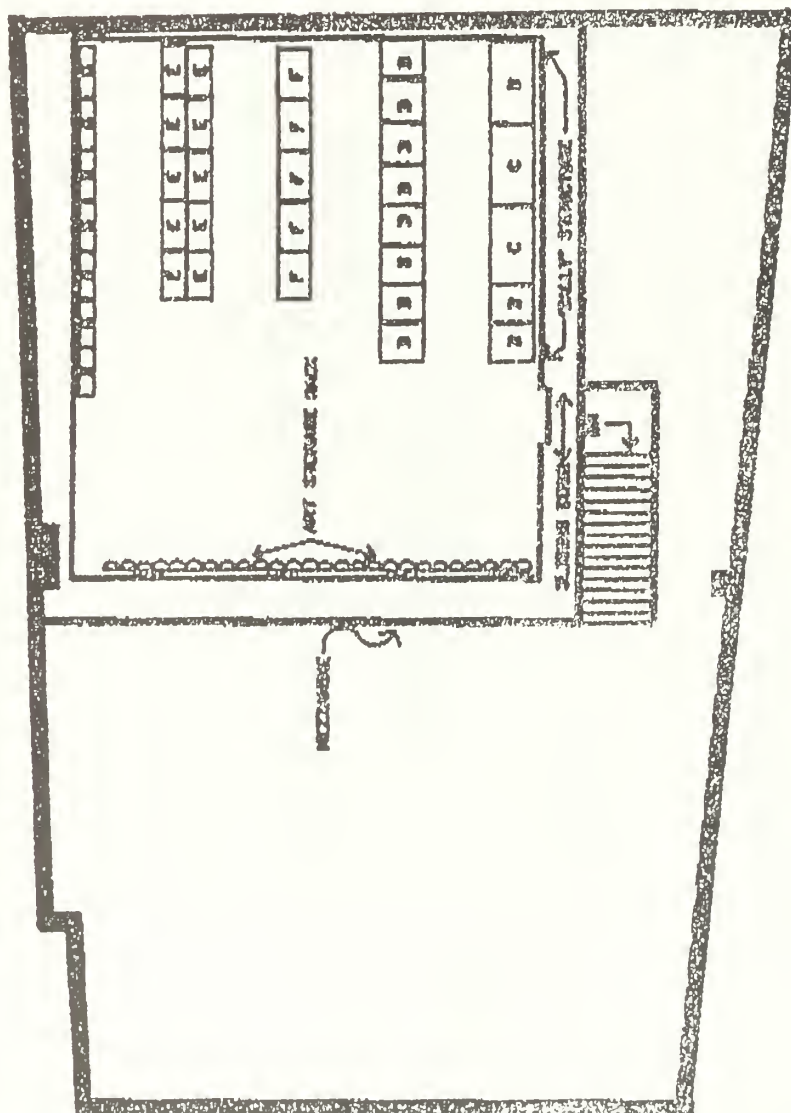


A-SLOTTED ANGLE RACK - 96"V X 48"V X 72"V



COLLECTION STORAGE
SALEM MARITIME NHS

SAINT JOSEPH HALL - SECOND FLOOR - LARGE OBJECTS STORAGE
D. CUMBERLAND | FEBRUARY 1988 | SCALE 1/4" = 3' 0"
CURATORIAL SERVICES DIVISION, WASH



D - STANDARD MUSEUM CABINET
E - DOUBLE WIDE MUSEUM CABINET
F - VARDORF MUSEUM CABINET
G - STEEL SHELVING UNIT - 36"V X 18"D
H - STEEL SHELVING UNIT - 36"V X 24"D
I - STEEL SHELVING UNIT - 36"V X 12"D

COLLECTION STORAGE
SALEM MARITIME NHS

SAINT JOSEPH HALL - SECOND FLOOR MEZZANINE

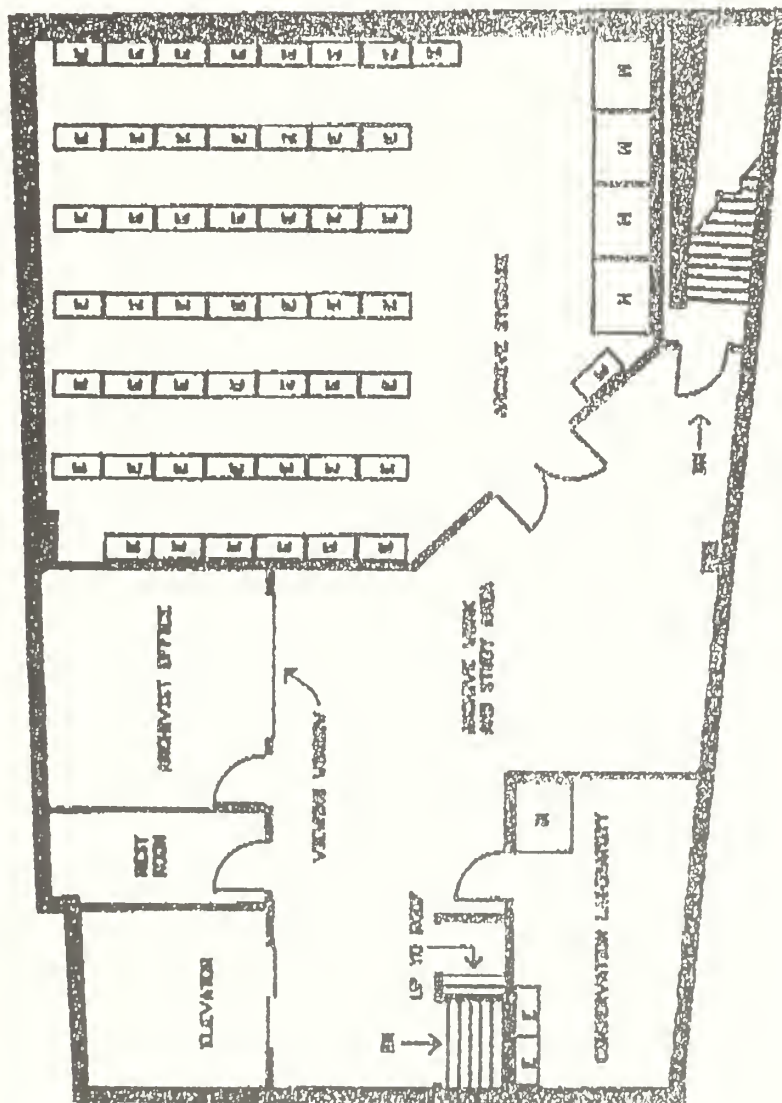
D. CUMBERLAND

FEBRUARY 1988

$$1/4" = 3' 0"$$

CURATORIAL SERVICES DIVISION, WASHO





E - STEEL SHELVING UNIT - 36"V X 18"V
H - MAP CABINET

COLLECTION STORAGE SALEM MARITIME NHS

SAINT JOSEPH HALL - THIRD FLOOR - ARCHIVES STORAGE
D. CUMBERLAND
FEBRUARY 1988
SCALE 1/4" = 3' 0"

CURATORIAL SERVICES DIVISION, WASD

Description of Subject Property

The subject property to be appraised, consisting of land with a building improvement thereon, is located on the corner of Derby Street and Palfrey Court in the Derby Street Historic District of the city with its mixture of commercial establishments, residential homes and historic sites.

The subject lot consists of a nearly rectangularly shaped parcel with a total land area of 3049.2 square feet (0.07Ac.). It has a frontage of 50' on the northerly side of Derby Street, a 26' wide public way, and 70' on the easterly side of Palfrey Court, a 12' wide deadend public way. The terrain is level in contour. Off-site improvements include storm drains, paved sidewalks and roads and granite curbs. Utilities available and connected to the site include sanitary sewer, water, gas and electricity.

IMPROVEMENT

Building	a 3-story, red brick masonry building constructed in 1909. Said building was formerly used as a private club (St. Joseph's Roman Catholic Polish Club). The total Gross Building Area is 11,667 square feet including a full basement area. The ground level (footprint) is 2,932 square feet which occupies almost all of the total available land area of the site.
Exterior Construction	
Roof	Flat tar and gravel with wood overhangs on first floor and at roof level, brick chimney.
Sidewalls	Brick on masonry, granite lintels.
Windows/Doors	Double hung, 2/2 and 1/1 wood sash windows, wood casement windows, wood sash 8/8 and 4/4 windows, both with transoms. Steel frame with masonite panels doors (2) and steel clad exit doors (2).
Entrances	Granite steps. Main front entrance (double door) to bar/lounge area. Separate front entrance to second floor ball level.
Foundation	Fieldstone
Miscellaneous	Bricked-in doors and windows.

Description of Subject Property (Continued)

Interior Layout

1st Floor Access to and egress from this first level is via double front doors. Bar and lounge area, coat closet; rear storage rooms, men's and ladies' lavatory facilities, rear offices with lavatory. A separate entrance door at the front gains a stairwell providing direct access to the second and third floor levels.

2nd Floor Large, open floor (dance hall) area with 16' high ceilings, coat closet, lavatories (2), wall hung, single bowl stainless steel sink in a wood stand, front and rear stairways. Partial water view.

3rd Floor A number of attic-like rooms (living rooms, kitchens and toilets). No heat and no plumbing but has heat rises. Excellent water view.

Basement A large open area with steel lally columns, tin ceiling, paneled walls and a poured concrete floor. A partitioned off area contains a kitchen with a double bowl stainless steel sink, stove, refrigerator, decorative brick and masonry walls and a domestic hot water heater. A small enclosure contained a single hopper. A boiler room area with open ceiling and exposed fieldstone foundation walls contains an H.B. Smith, one pipe, steam boiler fired by oil and 275-gallon oil storage tanks (2). This basement area is provided with rear exit stairs and front exit stairs to Palfrey Court.

Interior Construction

Frame: Brick masonry supporting wood main beams and steel lally columns.

Ceilings: Skimcoat plaster, plaster, suspended and decorative metal.

Walls: Brick masonry, plaster, paneled.

Floors: Hard wood (Birch, Maple) and soft pine and some covered with carpeting.

Electrical Circuit breakers electrical service (200 Amps and 50 Amps). BX wiring and metal conduit. No smoke or heat detectors.

Lighting Strip fluorescent lights, individual ceiling lights, some recessed, pendant globes. Stand-by emergency lights.

Description of Subject Property (Continued)

Interior Construction (Continued)

Lavatories	Twelve (12) fixtures.
Plumbing	Galvanized pipes, brass to copper exposed pipes.
Heat	Cast iron steam radiators on the first and second levels and ceiling hung in the basement. There are none on the third floor.
Air Conditioning	Central air conditioning in the basement and three (3) built-in wall units (2 in bar and 1 in rear office).
Miscellaneous	Vertical circulation is provided by two stairwells, front and rear, from the front entrance on Derby Street and the rear exit to Palfrey Court where the rear stairs also lead to the basement. The basement area has a 2nd exit at front via a side entrance to Palfrey Court. Plaster and wainscoting walls, plaster ceilings, wood risers and handrails in the hallways and stairwells.
Condition	A physical inspection of both the exterior and interior of the subject indicated the structural integrity of the building to be sound except for the need of minor pointing. The interior of the subject structure evidences serviceable and functional conditions with the exception of some necessary updating and deferred maintenance. Note "Addendum" for contractor's estimate to perform the above work.

So far as this appraiser could determine, there is no known existence of mineral deposits under the subject land having a commercial value.

SHIRLEY A. DYAK AND ASSOCIATES

INDEPENDENT MANUFACTURERS' REPRESENTATIVE

20 West Riding Drive
Belair, MD 21014
(301) 836-0990



March 13, 1988

National Park Service
U.S. Dept. Interior
Harpers Ferry Center
45 Stage Coach Inn
Harpers Ferry, WV. 25425

ATTN: DONALD CUMBERLAND
RE: BALLY ENGINEERED STRUCTURES
SALEM-MARITIME

Dear Donald,

As per your request listed below is the quote for the modular structure for Maritime.

BOX: 28'10" x 32'8" x 7'6" With Floor

FINISH: ALUMINUM INTERIOR AND EXTERIOR - because of location

DOOR: 36' x 78" manual slide

STEEL: Self-support steel (If coordination with general contractor can be arranged, and present "tin" ceiling is removed leaving building joints exposed, we would prefer to suspend the ceiling; as self-support steel is 10" x 28'10" and will weigh 750 lbs.

LOCATION: To be erected on mezzanine supplied by owner that provides 100% bearing surface.

NOTE: If self-support steel is used allow 10" for steel above box.

MECHANICAL: PROVIDE AND INSTALL:
SYSTEM: One (1) 1½ h.p. 18,000 BTU, split A.C. system with electric heat for heat and dehumidification motor master and low ambient controls.
WALTON humidification system
Condensate pump
HEPA filter
Charcoal filter
Duet system

ELECTRIC: General contractor provides power to -
A. Compressor 208/230/60/3
B. Door 115 V

INCLUDES Wiring of system, incandescent lighting inside cooler,
and installation of modular structure.

PRICE

BOX: \$46,651.00 LIST \$25,191.54 NET WEIGHT 11,554LBS.

INSTALLATION
AND DEHUMIDIFICATION: \$23,197.00

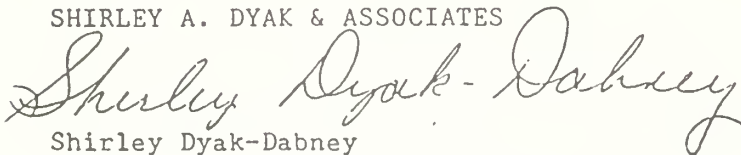
OPTION: Two (2) pen recorder with one (1) week circular chart.
Measures R.H. and temperature with alarm.
ADD - \$3,812.00

If you have any questions on the above mentioned quote please feel
free to give me a call at your convenience.

I'll look forward to working with you on this project in the near
future.

Sincerely,

SHIRLEY A. DYAK & ASSOCIATES



Shirley Dyak-Dabney
President

CC: SALEM-MARITIME

APPENDIX F. OTHER SUPPORTING DOCUMENTS

- F1. Deeds and Related Material (1906, 1949, 1986)**
- F2. Building Department Documents**
- F3. Plate Glass Insurance Policy**
- F4. Asbestos Test**

Appendix F1.

**1906 Deed of Sale
Book 1851, p. 543, Registry of Deeds**

1949 Deed for Right-of-Way

**1986 Plan of Land Preserving
Right of Way**

...proved and allowed by the Probate Court for said
County on June 5, 1882, do by virtue and in execution
of the power to us given in and by said will, and of
every other power and authority us hereto enabling,
and in consideration of the sum of One dollar and
other valuable considerations to us paid by Augustine
Morency of said Salem, the receipt whereof is here-
by acknowledged, hereby grant, bargain, sell, and
convey unto the said Augustine Morency, a cer-
tain parcel of land with the buildings thereon, sit-
uate in said Salem, bounded and described as follows:
northerly by Dodge Street thirty (30) feet, Easterly
by land now or late of Lewis, formerly Moulton, and
now or late of Manning one hundred (100) feet, Southerly
by land now or late of Collins, formerly Russell,
twenty six and three tenths ($26\frac{3}{10}$) feet and Westerly
by land now or late of Dane, formerly Low. Being
the same premises conveyed to said Daniel G. Man-
ning by deed of Daniel Low dated November 5, 1875 and
recorded in the Essex, South District Registry of Deeds
Book 941 page 127. To have and to hold the
granted premises, with all the privileges and ap-
purtenances thereto belonging, to the said Augus-
tine Morency and her heirs and assigns, to their
own use and behoof forever. In witness where-
of we the said Benjamin W. Russell and Charles S. Rea,
Trustees as aforesaid hereunto set our hands and
seals, this 23rd day of October in the year one thou-
sand nine hundred and six.

Signed and sealed Benjamin W. Russell seal
in presence of Chas. S. Rea. seal
Carl & A. Morse, (to both), Commonwealth of
Massachusetts Essex ss October 23rd 1906. Then
personally appeared the above named Charles S.
Rea and acknowledged the foregoing instrument
to be his free act and deed. Before me.

Edward L. Millett. Notary Public seal
Essex ss Dec 4, 1906. 20m past 10 AM Feb 2nd 1907. Killard, Hall Reg-

1906 Deed

Know all men by these presents that J. Szejachowicz
we, Joseph Szejachowicz and Maryanna Szejachowicz ^{at us} to
his wife in her own right, both of Salem County of ^{St Joseph's Polish} Roman Catholic ^{Society of Salem}

Essex and Commonwealth of Massachusetts, in consideration of One Dollar and other valuable considerations paid by The St. Joseph's Polish Roman Catholic Society of said Salem, a corporation duly established under the law; the receipt whereof is hereby acknowledged, do hereby give, grant, bargain, sell, and convey unto the said St. Joseph's Polish Roman Catholic Society, a certain parcel of land with the buildings thereon situated in said Salem, bounded and described as follows: Beginning at a point on Derby Street, at a point on the line running parallel with two feet distant from the Easterly wall of the dwelling house on said premises; thence turning and running Northerly on said line sixty nine feet, six inches (69' 6") by land now or formerly of Solin to land now or late of Michael Bourley; thence turning and running Westerly by said land now or late of said Bourley thirty eight feet (38') to Palfrey Court so called; thence turning and running Southerly by the line of said Palfrey Court seventy feet (70') to Derby Street; thence turning and running Easterly by said Derby Street fifty feet (50') to the point of beginning, meaning to convey to said grantee a portion of the premises conveyed to us by deed of Franciszka Podorski by deed dated June 27th 1905, and recorded in Essex South District Registry of Deeds, Book 1782, Page 5504. The other portion of these premises having been conveyed by us to Martin Solin by deed dated September 22nd, 1906, and recorded in Essex South District Registry of Deeds. We have and to hold the granted premises, with all the privileges and appurtenances thereto belonging, to the said St. Joseph's Polish Roman Catholic Society and successors and assigns, to their own use and behoof forever. And we hereby for ourselves and our heirs, executors, and administrators, covenant with the grantee and its successors and assigns that we are lawfully seized in fee simple of the granted premises; that they are free from all incumbrances, except a first mortgage of seven hundred dollars held by the Salem Five

into Savings Bank that we have good right to
 sell and convey the same as aforesaid, and that
 we will and our heirs, executors, and administrators,
 shall warrant and defend the same to the
 grantee and its successors and assigns forever a-
 gainst the lawful claims and demands of all per-
 sons. And for the consideration aforesaid I, Mary-
 anna Szejzechowicz, wife of the said Joseph Sze-
 jechowicz do hereby release unto the said gran-
 tee and its successors and assigns all right of or
 to both dower and homestead in the granted
 premises, all rights by statute and all other rights
 and interests therein. In witness whereof we
 the said Joseph Szejzechowicz and Maryanna
 Szejzechowicz his wife hereunto set our hands
 and seals this third day of December in the year
 one thousand nine hundred and six.

Signed and sealed ^{his} Joseph X Szejzechowicz seal
 in presence of ^{her} Maryanna X Szejzechowicz seal
 Edward O. Shea. ^{mark} Commonwealth of
 witness to both marks. Massachusetts, Essex Co. Dec-
 ember 3rd, 1906. I then personally appeared the above
 named Joseph Szejzechowicz and acknowledged
 the foregoing instrument to be his free act and
 deed. Before me. Edward O. Shea. Justice of the Peace
 Executed Dec 4 1906. 35mpast 10AM Recd. by. *Phillard J. Hale. Reg-*

Know all men by these presents, that ^{M. B. Jennings} to
 S. Michael B. Jennings of Salem, Essex County, Mass - Salem Savings
 Bank, in consideration of Sixty Three Hundred and
 fifty dollars paid by the Salem Savings Bank a cor-
 poration duly established by law and located at
 Salem in the County of Essex and Commonwealth of
 Massachusetts, the receipt whereof is hereby acknow-
 ledged, do hereby give, grant, bargain, sell and con-
 vey unto the said Salem Savings Bank the follow-
 ing described parcels of land with all buildings there-
 on in said Salem, a parcel bounded begin ing at the
 most easterly corner on Prospect Street by land now
 or late of Nicholas Patterson, thence running south-
 westerly by said Patterson land one hundred twenty-
 four feet six inches, thence running northwesterly

July 11, 1907. The Salem Savings Bank
Treasurer
by Edward J. Millet
 TREASURER

1949 Deed

3652
5 5 6

KNOW ALL MEN BY THESE PRESENTS THAT St. Joseph's Polish Roman Catholic Society, Inc., a corporation

of Salem Essex County, Massachusetts,
hereby conveyed, for consideration paid, grant to Boleslaw Staniewicz

of said Salem with quitclaim covenants
the land in said Salem with the buildings thereon, bounded and described as follows:

Westerly by Palfrey Court thirty six and seventy five one-hundredths (36.75) feet, northerly by land now or formerly of Ames seventy one (71) feet, easterly by land now or formerly of Collins thirty six and six-tenths (36.6) feet and southerly by land now or formerly of Potarski and St. Joseph's Polish Roman Catholic Society about seventy one (71) feet. Reserving, however, for the use of the grantor, its members, tenants and assigns a right of way over that portion of the premises immediately adjoining the rear of the property now owned by said Society for a reasonable distance for the purpose of ingress and egress to paint and/or make repairs and for delivery of commodities to and from the rear of the building upon said premises to Palfrey Court. For title see Book 1851 Page 543 and Book 2457 Page 265. Subject to taxes for 1949.

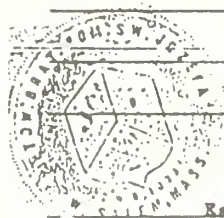


In witness whereof the said St. Joseph's Polish Roman Catholic Society has caused its corporate seal to be hereto affixed and these presents to be signed in its name and behalf by Alexander V. Soboczinski, its Treasurer hereunto duly authorized
this _____

husband-
wife- of said grantor

relieve to said grantee all rights of tenancy by the courtesy and other interests therein.
dower and homestead

Witness hand and seal this eleventh day of March 19 49



St. Joseph's Polish Roman Catholic Society, Inc.
by Alexander V. Soboczinski
Treasurer

The Commonwealth of Massachusetts

Essex ss.

March 11, 19 49

Then personally appeared the above named _____

Alexander V. Soboczinski

and acknowledged the foregoing instrument to be the free act and deed, before me of the St. Joseph's Polish Roman Catholic Society, Inc.

Elmer W. Liebsch - Notary Public - Justice of the Peace

(CONTINUED)

6/1
22/1
3 P/S

PLAN BOOK 22/1 PLAN 6/1

Jan 23 1987
Palfrey Court Condominium
8769 464

3 P/S

PL 22-1 SP 1473

DANIELS STREET

N/F COLLIER

N/F HARTNETT

N/F DYLENGOSKI

N/F FONTAINE

DERBY STREET

STREET

ASSESSOR'S
MAP 35
PARCEL 346

2,627 S.F.

3 STORY
WOOD
DWELLING

NO. 6

N/F
ST. JOSEPH'S
POLISH ROMAN CATHOLIC
SOCIETY

R.O.W. EASEMENT
FOR USE BY
ST. JOSEPH'S
NO DIMENSIONS
INDICATED
SEE BK 3652 PG 556

PALFREY COURT

COURT

I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES SHOWN ON THE RECORDS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC AND PRIVATE STREETS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.



PLAN AND DEED
REFERENCES RECORDED:
SO. ESSEX REGISTRY.

BK 5977 PG. 229
BK 2507 END
BK 4708 PG. 480

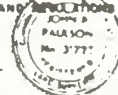
PL BK 87 PL 38



ATLANTIC ENGINEERING & SURVEY
CONSULTANTS INC.
33 W MAIN ST GEORGETOWN, MASS

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE 31 OCT 1986
REGISTERED LAND SURVEYOR



CONDOMINIUM SITE
PLAN OF LAND

IN
SALEM, MA

FOR
PALFREY COURT CONDOMINIUM



SCALE: 1" = 10'

DATE: 10/27/86

Appendix F2.

Building Department Documents

No.

Application for Permit for Alterations, or Repairs

Location, Ownership, and DETAIL Must Be Correct

Permits Must Be Obtained Before Beginning Work

Salem, Mass., Mar 7 1917

To the INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:
Location Derby St. + Palfrey Ct. Ward
Name of owner St. Joseph Polish Society Name of occupant same
Name of mechanic or Contractor Benoit & White Name of architect C. A. Benoit Jr.
Number of Stories 3; Material of Roof Gravel; Material of Building Brick
Size of Building App. 48' x 60'

Existing use of Building { 1st Floor 2 Front Rooms Vacant 1st Floor
2nd Floor 2nd Floor
3rd Floor If vacant show Previous Use 3rd Floor
4th Floor 4th Floor
5th Floor 5th Floor

Proposed use after Alterations { 1st Floor Club room to occupy 2 Front Rooms 1st Floor
2nd Floor 2nd Floor
3rd Floor 3rd Floor
4th Floor 4th Floor
5th Floor 5th Floor

Are 10 or more people employed? No On What Floors?

Will 50 or more people assemble? Yes On What Floors? 1st & 2nd

DETAIL OF PROPOSED ALTERATIONS, ETC.

Changing doors and erecting partitions as shown in drawing.

Estimated Cost or Valuation of New Work \$1200

Note: Separate Permits required to occupy sidewalk or for Plumbing and Electrical Work.

Important: If application is for outside additions, show Lot Plan on back of this application, drawn to scale, showing location of Present Structure and proposed addition.

Signature of Owner or

Authorized Representative Charles A. Benoit Jr.

Residence



No. 247

PLAN OF LOT

Showing Location of Present
Structure and Addition

Application for Permit for Additions
Alterations and Repairs

2nd. CLASS BUILDING

LOCATION

No. 160 Derby St. ✓

Ward 1

Owner St. Joseph's Polish ✓

Society Cost \$22.00

CONDITIONS

Remodel 2 Rooms on 1st Floor
formerly used as stores to convert
into Club Room, in accordance
with approved plan.

PERMIT GRANTED

May 7 1911

John J. Donohue

DATE OF PERMIT	PERMIT No.	OWNER	LOCATION			
5/9/47	247 Per		160 Derby Street			
STRUCTURE	MATERIAL	DIMENSIONS	No. OF STORIES	No. OF FAMILIES	WARD	COST
			BUILDER			

Metal Cabinet Pocket 9 Folder 3

DATE OF PERMIT	PERMIT No.	OWNER	LOCATION			
		St. Josephs Polish Catholic Society	158-162 Derby St. B-1			
STRUCTURE	MATERIAL	DIMENSIONS	No. OF STORIES	No. OF FAMILIES	WARD	COST
			BUILDER			

BOARD OF APPEAL: 5/21/86 - Withdrew - Special Permit/Variance from density and parking to allow mixed commercial/residential uses. (C. Anderson Inge, petitioner)

" " " 10/29/86 - " " " " " "



City of Salem, Massachusetts
Board of Appeal

MAY 28 8 48 AM '86

May 27, 1986

CITY CLERK, SALEM, MASS

Mrs. Josephine Fusco
City Clerk
City of Salem

Dear Mrs. Fusco:

This is to inform you that the petition of
C. Anderson Inge for Variance/Special Permit for
property located at 158-162 Derby St. has been
withdrawn. Said petition was withdrawn prior to
the hearing, no vote was taken. Hearing date: 5/21/86.

BOARD OF APPEAL

James B. Hacker (Hacker)
James B. Hacker
Chairman

bms

DATE OF PERMIT	PERMIT No.	OWNER	LOCATION			
		St. Josephs Polish Catholic Society	158-162 Derby St.		B-1	
STRUCTURE	MATERIAL	DIMENSIONS	No. OF STORIES	No. OF FAMILIES	WARD	COST
					/	
			BUILDER			

BOARD OF APPEAL: 5/21/86 - Withdrew - Special Permit/Variance from density and parking to allow mixed commercial/residential uses. (C. Anderson Inge, petitioner)

" " " 10/29/86 - " " " " " "

Appendix F3.

Plate Glass Insurance Policy

SHORT RATE CANCELLATION TABLE

If the number of days during which the policy is in effect is not specified in the table, the percentage for the next larger number of days shall be used.

FOR TERM OF ONE YEAR

	Per Cent. of Annual Prem.	Per Cent. of Annual Prem.
1 day	2	50 days . . . 28
2 days	4	55 " . . . 29
3 "	5	60 " . . . 30
4 "	6	65 " . . . 33
5 "	7	70 " . . . 36
6 "	8	75 " . . . 37
7 "	9	80 " . . . 38
8 "	9	85 " . . . 39
9 "	10	90 " . . . 40
10 "	10	105 " . . . 45
11 "	11	120 " . . . 50
12 "	12	135 " . . . 55
13 "	13	150 " . . . 60
14 "	13	165 " . . . 65
15 "	14	180 " . . . 70
16 "	14	195 " . . . 73
17 "	15	210 " . . . 75
18 "	16	225 " . . . 78
19 "	16	240 " . . . 80
20 "	17	255 " . . . 83
25 "	19	270 " . . . 85
30 "	20	285 " . . . 88
35 "	23	300 " . . . 90
40 "	26	315 " . . . 93
45 "	27	330 " . . . 95
		360 " . . . 100

FOR TERM OF THREE YEARS

	Per Cent. of 3 yr. Prem.	Per Cent. of 3 yr. Prem.
1 month . . .	7.4	19 months . . . 55.4
2 months . . .	11.1	20 " . . . 58.
3 " . . .	14.8	21 " . . . 60.7
4 " . . .	18.5	22 " . . . 63.3
5 " . . .	22.2	23 " . . . 65.9
6 " . . .	25.9	24 " . . . 68.5
7 " . . .	27.8	25 " . . . 71.2
8 " . . .	29.6	26 " . . . 73.8
9 " . . .	31.5	27 " . . . 76.4
10 " . . .	33.3	28 " . . . 79.
11 " . . .	35.2	29 " . . . 81.7
12 " . . .	37.	30 " . . . 84.3
13 " . . .	39.6	31 " . . . 86.9
14 " . . .	42.3	32 " . . . 89.5
15 " . . .	44.9	33 " . . . 92.1
16 " . . .	47.5	34 " . . . 94.8
17 " . . .	50.2	35 " . . . 97.4
18 " . . .	52.8	36 " . . . 100.

Plate Glass Policy

Policy No. PG

LOYDS
CASUALTY COMPANY
A STOCK COMPANY
75 Maiden Lane, New York, N. Y.

FORMERLY
LLOYDS PLATE GLASS INSURANCE COMPANY

ISSUED TO

St. Joseph Polish Roman Catholic
Society
160 Derby St., Salem, Mass.

Expires December 20, 1933.

AGENT



PLEASE READ YOUR POLICY

Appendix F4.

Asbestos Test

HUB TESTING LABORATORIES

Consulting and Testing Engineers



95 Beaver Street — Waltham, Mass. 02154 — (617) 893-8330

Jan. 4, 1989

REPORT FOR: Cynthia Polacky
Salem Maritime Historic Site
174 Derby St.
Salem, MA 01970

SCOPE: Area air sampling for asbestos was performed at:
St. Joseph's Polish Club
Derby St.
Salem, MA 01970

DATE OF
TESTING: Nov 3, 1988

METHODOLOGY: The sampling pumps were calibrated prior to sampling, and the sampling trains were set in the locations noted below. The samples ran for approximately two hours, at which time they were removed from the pumps, sealed, wiped and returned to the laboratory for analysis.


ANALYSIS: The analysis was performed using phase contrast microscopy, as per NIOSH 7400/P&CAM 239. The results are as follows:

RESULTS:

<u>Location</u>	<u>Time</u>	<u>Type</u>	<u>Fibers/cc</u>
First Floor, front	8:59-10:59	aggressive	.004
Basement by boiler	8:57-10:57	aggressive	.005

STANDARD: The current Massachusetts clearance standard for airborne asbestos fibers is 0.010 fibers/cc, as designated by the Department of Labor and Industries.

COMMENT: The NIOSH method requires that all fibers, including animal hair, synthetic, mineral, vegetable, etc. be counted and included in the total fiber count.


Susan Boyle
Projects Manager
Asbestos Abatement
Project Monitor
Cert. No. PM00166



3 1604 012 790 624

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