



HISTORIC STRUCTURE ASSESSMENT REPORT

SNEE FARM (MAIN HOUSE)

CHARLES PINKNEY NATIONAL HISTORIC SITE
Mount Pleasant, South Carolina

**NATIONAL PARK SERVICE
SOUTHEAST REGION**



SNEE FARM
(Main House)
(HISTORIC STRUCTURE NO. 1)

PREPARED FOR:

CHARLES PINCKNEY NATIONAL HISTORIC SITE
Mount Pleasant, South Carolina

NATIONAL PARK SERVICE
SOUTHEAST REGION

PREPARED BY:

Ali A. Miri

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Southeast Support Office
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100 Alabama Street, S.W.
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1997

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PROJECT STATEMENT

A Historic Structure Assessment Report (HSAR) introduced as part of the comprehensive Inventory and Condition Assessment Program (ICAP) at the park level is to assist the maintenance manager in planning, organizing, and directing annual maintenance operations. The ICAP contains major parts of the HSAR and is a systematized methodology to inventory, evaluate, and assess the condition of or inspect and evaluate its features and provide recommendations for treatment and maintenance. ICAP is a computer program to manage the substantial volume of information developed under the program.

ICAP is based on a comprehensive field inspection and evaluation conducted by the park, system support office, or Denver Service Center staff and/or private architectural/engineering contractors. The inspection team prepares a report assessing and evaluating the findings of the inspection and recommending, where necessary, appropriate repair treatments. For prehistoric and historic buildings these recommendations are consistent with the Standards for Managing Historic and Prehistoric Structures (including ruins) in the Cultural Resource Management Guideline (NPS-28) and The Secretary of the Interior's Standards for the Treatment of Historic Properties.

ICAP can be used for:

- Recording assets and feature inventories (identifying and recording what you intend to maintain or track).
- Identifying and reporting physical conditions.
- Identifying needed work tasks based on ICAP.
- Referencing work task procedures.
- Referencing asset information.
- Accessing the location of asset documents.
- Long-range planning.
- Planning major projects.



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<http://archive.org/details/historicstructur00miri>

A comprehensive building report consists of the following:

1. **General Data** - Background, size, and geographic location.

2. **Historical Data** - For historic and prehistoric buildings, the historic significance of each feature is identified. An important List of Classified Structures and Cultural Resource Management Bibliography information is also furnished.

3. **Inventory Data** - Descriptions of each element and feature of the historic building.

4. **Condition Assessment Data** - Deficiencies identified through the inspection and evaluation process with corrective work recommendations.

5. **Cost Data** - Estimated costs (Class C) for all recommended work broken down into material and labor.

6. **Graphic Data** - A site sketch, simple plan drawings, and photographs of representative views indicating existing conditions are also provided.

DEFINITIONS

BUILDING'S CONDITION

Excellent - A building is in excellent condition if any of the following conditions are present. Both interior and exterior features of the building are in like-new (or better) condition. The building utility systems are without obvious or known defects (this level does not apply to historic or prehistoric buildings).

Good - A building is in good condition if the following conditions are present. The significant features are intact, structurally sound, and performing their intended purpose; there are few or no cosmetic imperfections; the significant features need no repair; and only routine and/or cyclic maintenance is required. Examples are touch-up painting or other minor items needing maintenance.

Fair - A building is in fair condition if any of the following conditions are present. There are signs of wear, failure, or deterioration, though the building is generally sound; or if failures of significant features of the building are evident. Examples are worn floor or wall coverings and building utility systems in need of minor repair.

Poor - A building is in poor condition if any of the following conditions are present. The significant features are no longer performing; show signs of imminent failure or breakdown; structural integrity is marginal; major repairs are needed; or fire, life, health and/or safety standards for occupancy are questionable. Examples include exterior envelop that allow the elements to attack the interior and/or utility systems that are inadequate.

Obsolete - A building is in obsolete condition if any of the following conditions are present. Building is not historic or prehistoric and is not architecturally significant; it is beyond economic rehabilitation; and major health and/or safety violations exist (this level does not apply to historic or prehistoric buildings).

PRIORITY

A critical deficiency of a feature exists where:

- There is advanced deterioration that resulted in the failure of the feature or will result in failure if not corrected within 1 year, or
- There is accelerated deterioration of adjacent or related building materials as a result of the feature's deficiency.
- There is a threat to the health and/or safety of the user.
- There is a failure to meet a legislative requirement.

A serious deficiency of a feature exists where:

- There is deterioration that, if not corrected within 2-5 years, will result in failure, or
- A threat to the health and/or safety of the user may occur within 2-5 years if the deterioration is not corrected, or
- There is deterioration of adjacent or related materials and/or systems as a result of the feature's deficiency.

A minor deficiency of a feature exists where:

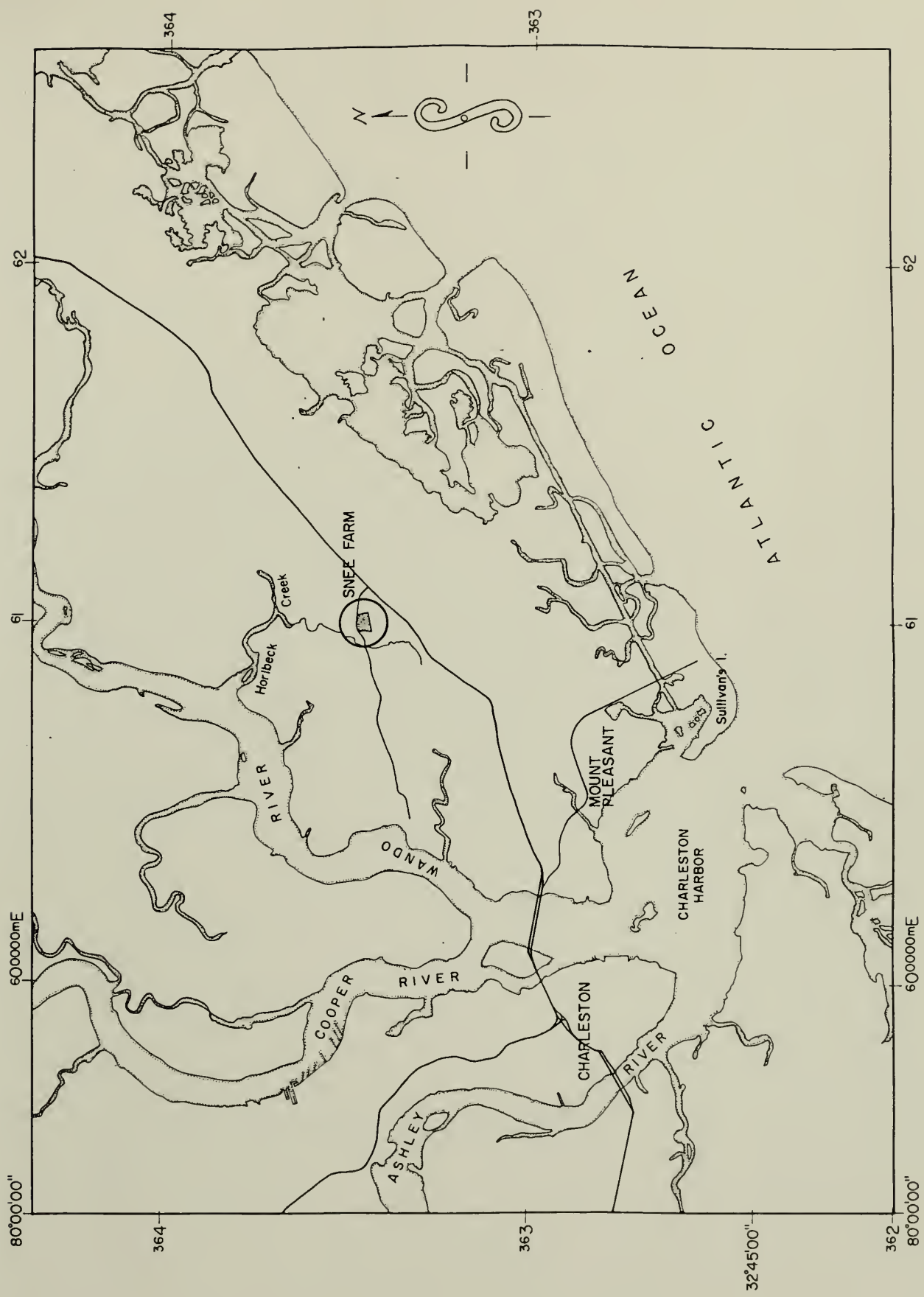
- Standard preventive maintenance practices and conservation methods have not been followed, or
- There is a reduced life expectancy of effect or related materials and/or systems, or
- There is a condition with long-term impact beyond 5 years.

WORK RECOMMENDATIONS

Within the inventory and evaluation section of a comprehensive report, each feature in a fair or poor condition will receive a work recommendation in the back of the report.

COST ESTIMATES

The cost figures included in the work recommendations are estimates to be used for the planning of future work. They can be based on the inspector's own records. The cost estimate in this report is a "Class C" cost estimate.



ADAPTED FROM USGS JAMES ISLAND, SOUTH CAROLINA 30x60 MINUTE QUADRANGLE;
 COMPILED FROM USGS 1:24000 TOPO MAPS DATED 1957-1979, PHOTOREVISED 1983, EDITED 1986

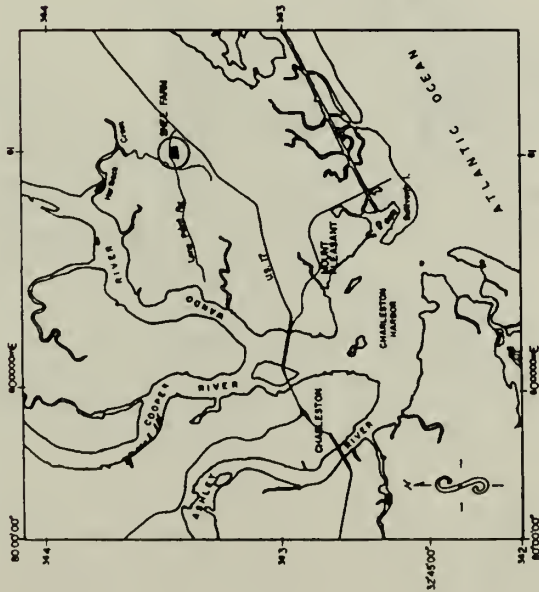
UTM 17 600000 7674000

LIST OF SYMBOLS AND ABBREVIATIONS

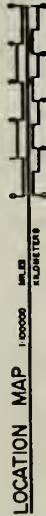
ADA= Americans with Disabilities Act
ANSI= American National Standard Institute
bedrm or BR= bedroom
bldg= building
BU= building
bsmnt or bmt= basement
btwn= between
clg= ceiling
cond= condition
o.c.= on center
dbl= double
dine or DR= dining room
Doc= document
E= east
EA or ea= each
elev= elevation
exist= existing
fdn= foundation
feat= feature
ftg= footing
fl or flr= floor
galv= galvanized
gyp bd= gypsum board
H or hist= historic
insp= inspection
kit= kitchen
lf = linear feet
LOC= location
LR= living room
meas= measure
mtl= metal
MAT or mat= material
N= not historic or none
N/A= not applicable
NFPA 101= Life Safety Code, National Fire Protection Association
o.c.= on center
opg= opening
orig= original
QTY= quantity
reqd= required
RESP= responsible
rm= room

ST= street
SF=square feet
SY= square yard
sgl= single
sht mtl= sheet metal
sm= small
stl= steel
T= treat as historic
T&G= tongue and grove
typ= typical
UBC= Uniform Building Code
U= Unknown or undetermined
UM= unit measure
UNIT= unit
wd= wood board
wdo= window
Zip= zip code
1st= first
2nd= second
3rd= third

DRAWINGS



ADAPTED FROM USGS JAMES ISLAND, SOUTH CAROLINA 30x60 MINUTE QUADRANGLE,
COMPILED FROM USGS 1:25000 TOPO MAPS DATED 1967-1979, PHOTOENHANCED 1983, DATED 1988
UTM: 17° 609980 3454640



THE CHARLES PINCKNEY NATIONAL HISTORIC SITE, KNOWN TRADITIONALLY AS "SNEE FARM" IS THE ONE SURVIVING COUNTRY SEAT OF CHARLES PINCKNEY III, THE AMERICAN PATRIOT AND STATESMAN. PINCKNEY INHERITED THE PLANTATION IN 1782 FROM HIS FATHER, WHO ACQUIRED THE THEN EXTENSIVE ACREAGE IN 1754. THE PINCKNEY FAMILY SERVED WITH MILITARY AND POLITICAL DISTINCTION THROUGHOUT THE REVOLUTIONARY WAR PERIOD AND WERE LEADERS IN THE ESTABLISHMENT OF THE FEDERAL GOVERNMENT.

A NATIONAL HISTORIC LANDMARK, THE SITE IS DEDICATED TO THE MEMORY OF CHARLES PINCKNEY. KNOWN AS "CONSTITUTION CHARLIE", PINCKNEY AT THE AGE OF 29 SERVED AS ONE OF THE YOUNGEST DELEGATES TO THE CONSTITUTIONAL CONVENTION IN PHILADELPHIA (1784-1789). HE WAS AUTHOR OF THE "PINCKNEY DRAFT", FROM WHICH AN ESTIMATED 31 PROVISIONS WERE ADOPTED AS ARTICLES OF THE CONSTITUTION. HIS DISTINGUISHED PUBLIC CAREER INCLUDED SERVICE AS A UNITED STATES SENATOR AND REPRESENTATIVE, MINISTER TO FRANCE BY APPOINTMENT OF THOMAS JEFFERSON, REPRESENTATIVE TO THE S.C. GENERAL ASSEMBLY, AND FOUR TERMS AS THE GOVERNOR OF SOUTH CAROLINA.

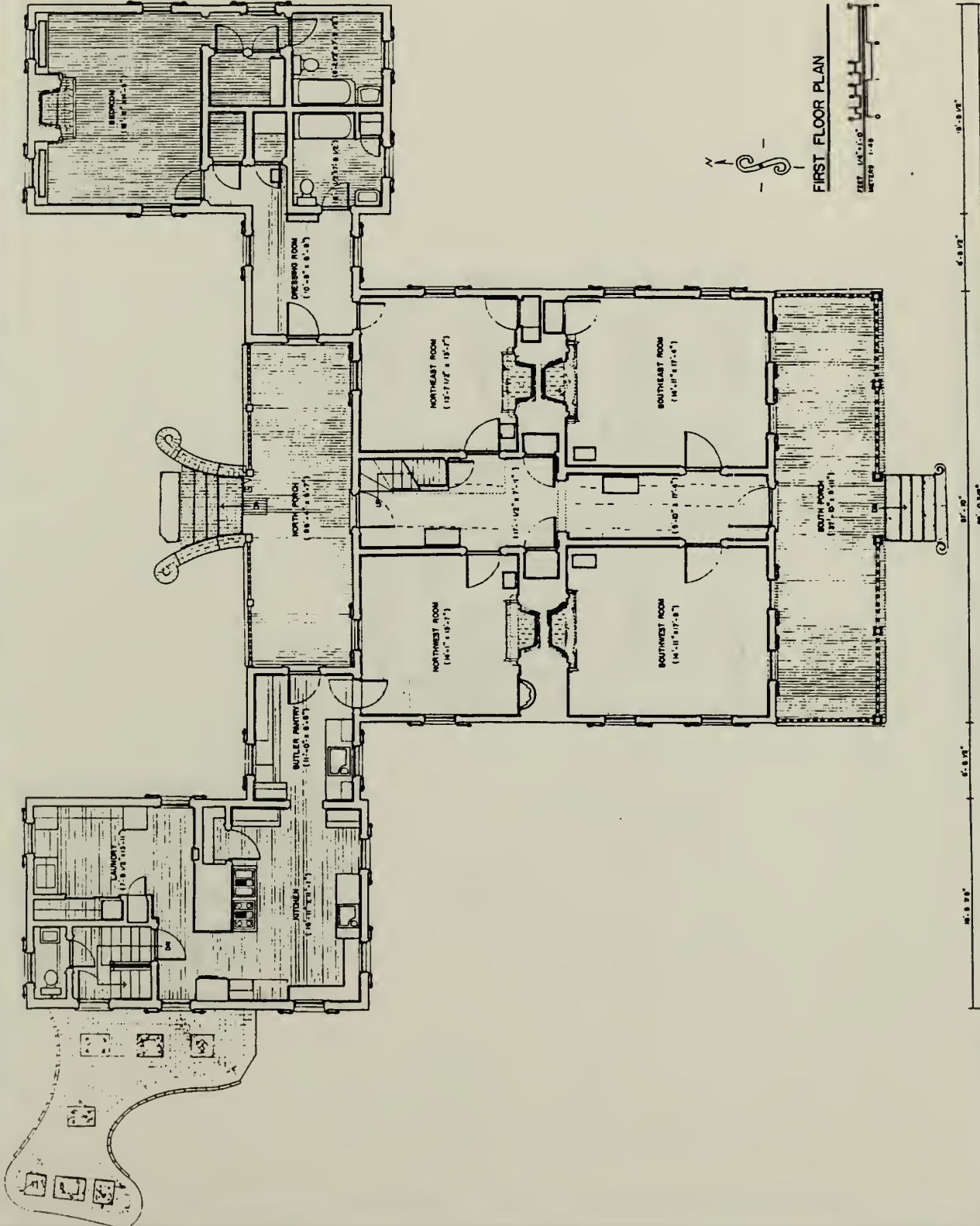
SNEE FARM



THE PLANTATION DWELLING HOUSE IS A WOOD FRAME VERNACULAR COTTAGE-STYLE STRUCTURE THAT IS A RARE SURVIVOR OF A FORM THAT WAS FAMILIAR TO THE 18TH AND 19TH CENTURY SOUTH CAROLINA RURAL LANDSCAPE BUT HAS LARGELY DISAPPEARED IN THIS CENTURY. THE STORY-AND-A-HALF GABLE ROOFED HOUSE WITH DORMERS RESTS UPON BRICK PIERS. ON THE INTERIOR THE PRINCIPAL ROOMS LEAN EITHER SIDE OF A FULLY paneled CENTRAL HALL WITH STAIRS RISING FROM THE NORTH OR BACK END OF THE HALL. IN 1936 THE TWO WINGS WERE ADDED. THE HOUSE IS BUILT OF NATIVE PINE AND CYPRESS AND THE INTERIOR ORNAMENTATION IS A VERNACULAR INTERPRETATION OF FEDERAL STYLE CARVING. LIKELY SNEE FARM'S MOST DISTINGUISHED GUEST, PRESIDENT GEORGE WASHINGTON HAD BREAKFAST THERE IN MAY 1791 WHILE EN ROUTE TO THE CITY OF CHARLESTON.

THE SNEE FARM RECORDING PROJECT WAS UNDERTAKEN DURING THE SUMMER OF 1990 BY THE HISTORIC AMERICAN BUILDINGS SURVEY/HISTORIC AMERICAN ENGINEERING RECORD (HABS/HAER) OF THE NATIONAL PARK SERVICE. ROBERT J. KAPSCH, CHIEF, IN COOPERATION WITH THE FRIENDS OF HISTORIC SNEE FARM AND THE FORT SUMTER NATIONAL HISTORIC SITE OF THE NATIONAL PARK SERVICE. THE PROJECT LEADER WAS PAUL D. DOLINSKY, HABS PRINCIPAL ARCHITECT, WITH CATHERINE C. LAVOIE, HABS SUPERVISORY HISTORIAN. THE DOCUMENTATION WAS PRODUCED BY SUPERVISORY ARCHITECT MICHAEL E. BRANNAN, BOWIE, MARYLAND; ARCHITECTURAL TECHNICIANS TINA L. FONG, COOPER UNION; CHRISTOPHER M. HUCKABEE (TEXAS TECH UNIVERSITY); MELLONEE RHEANS (TEXAS TECH UNIVERSITY); MARTHA DE MENA (US/CONOS, UNIVERSIDAD DE BUENOS AIRES, ARGENTINA); AND PROJECT HISTORIAN MARSHA CATES ELLIS.

FEET 1/4"=1'-0"
METERS 1:48



CHRISTOPHER HOLLAND

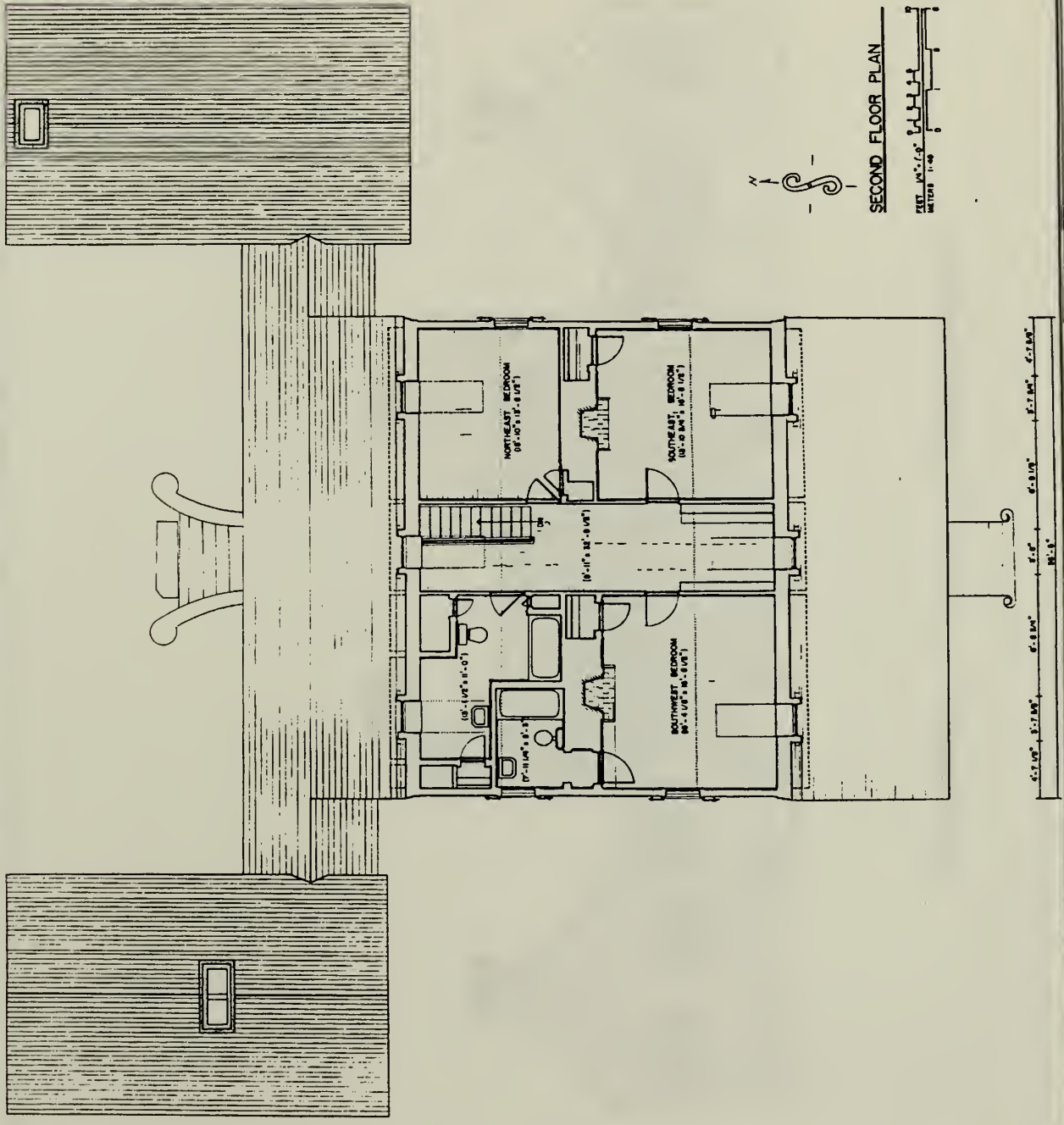
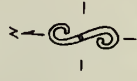
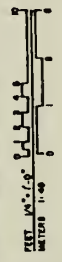
SNEE FARM RECORDING PROJECT - SHARPER, MO.
UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT
ALL DIMENSIONS SHALL BE IN FEET

1800 PORT ROAD - MOUNT PLEASANT - CHARLESTON COUNTY - SOUTH CAROLINA

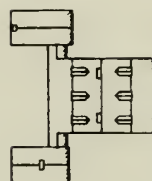
SNEE FARM
SNEE FARM RECORDING PROJECT - SHARPER, MO.

DATE: 5-21-2010
BY: J. HOLLAND
PROJECT: SNEE FARM RECORDING PROJECT - SHARPER, MO.

SECOND FLOOR PLAN



www.elsevier.com/locate/jmb



SOUTH ELEVATION



9'-0"	FRONT FLOOD
9'-11"	BOTTOM OF JOINT

0° - 9 1/2°	TOP OF ROOF - WY 1942
9° - 9 1/2°	CENTRAL - 1940000

21' - 6 1/2"	TOP OF CONCRETE - WIND
19' - 9 1/2"	TOP OF ROOFING
19' - 2 3/4"	TOP OF ROOF - WIND

25'-11" TOP OF ROOF

29'-7" TOP OF CHIMNEY

0' - 3" BASEMENT FLOOR

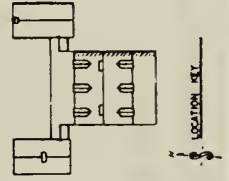
9.9° 1000
-9.11° 100100 10011

90° - 3 1/4"	CEILING RICHES
90° - 3 1/4"	TOE BOARDS - 1" x 4"

11° 4' 14"	TOP OF CHIMNEY - WARD
11° 11"	TOP OF ROOF
11° 11"	TOP OF ROOF - WARD

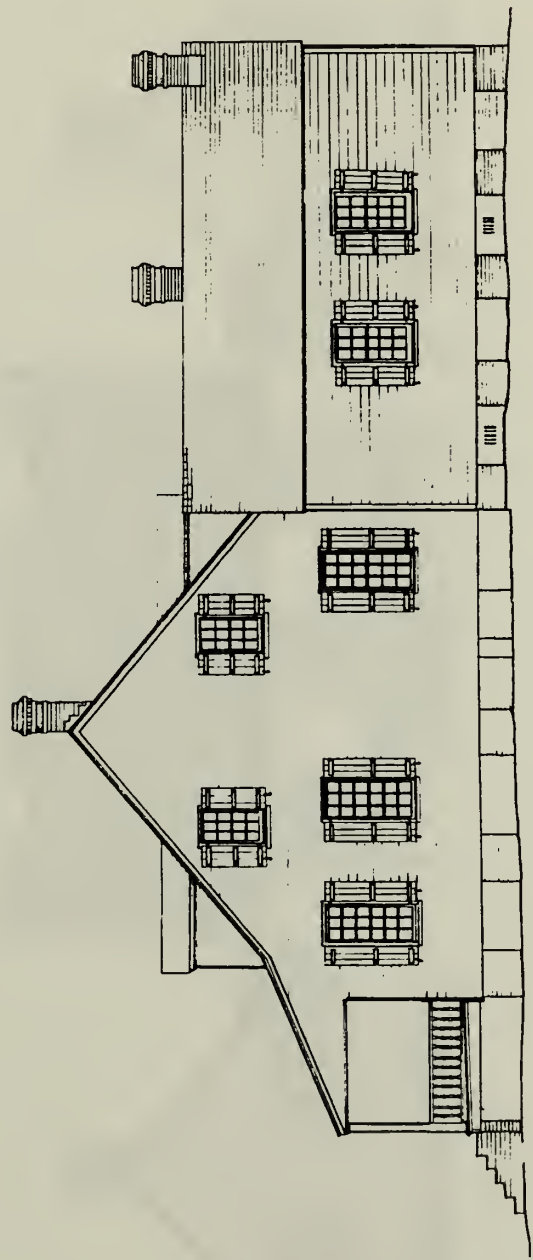
14-0° 70° 2° 200°

24-0-1 | TOP OF CEMENT



FEET 0 1 2 3 4 5 6 7 8 9 10
 METERS 0 1 2 3 4 5 6 7 8 9 10

EAST ELEVATION



TOP OF ROOF 11'-0"
 20'-0" 10'-0"
 27'-8" 8"
 27'-8" 8"
 27'-8" 8"
 27'-8" 8"

TOP OF CHIMNEY
 22'-10"
 18'-8 1/2" TOP OF ROOF
 18'-7 1/2" SECOND FLOOR
 15'-4 1/2" SECOND FLOOR
 14'-4 1/2" SECOND FLOOR
 8'-0" FIRST FLOOR
 8'-0" BOTTOM OF ARCH

PAGE 30 WILLIAM 40

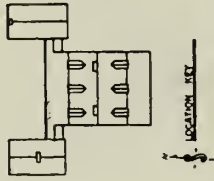
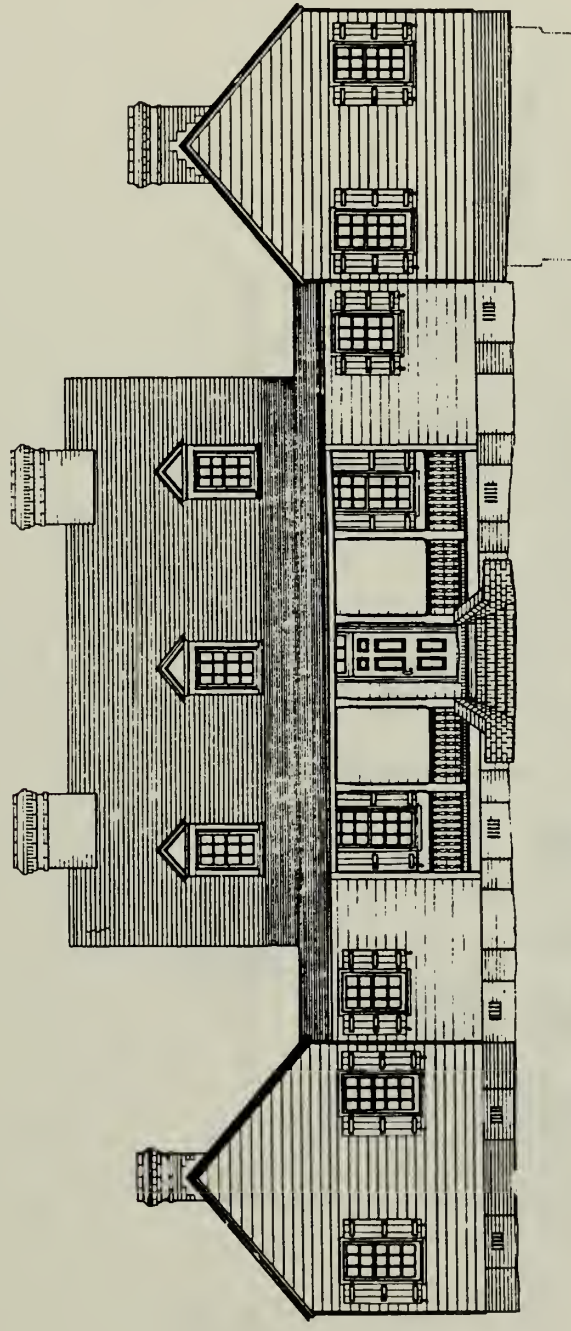
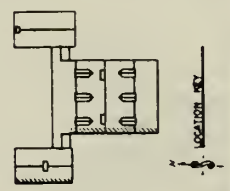


FIG. 1

1.43

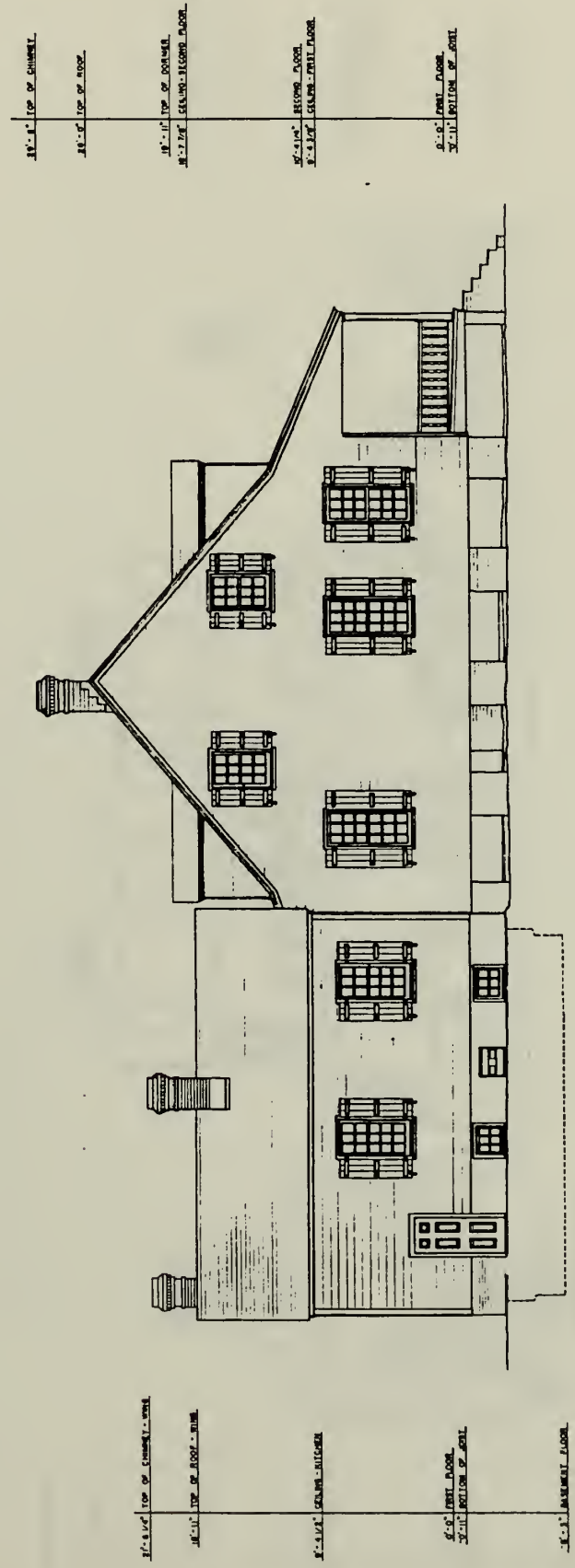
NORTH ELEVATION

[illegible][illegible]



FEET 1/4" = 1' 0"
 METERS 1:48

WEST ELEVATION

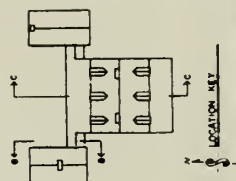


2'-8 1/4" TOP OF CHIMNEY
 0'-1" TOP OF ROOF
 0'-8 1/4" TOP OF ROOF - INTERIOR
 0'-4 1/2" CEILING - INTERIOR
 0'-2 1/2" CEILING - EXTERIOR FINISH
 0'-0" FIRST FLOOR
 -2'-0" BOTTOM OF JOIST
 -4'-2 1/2" BASEMENT FLOOR
 2'-8 1/4" TOP OF CHIMNEY
 0'-1 3/4" TOP OF ROOF
 0'-8 1/4" CEILING - INTERIOR
 0'-0" FIRST FLOOR
 -2'-0" BOTTOM JOIST

SECTION/ELEVATION B-B



0'-0" FIRST FLOOR
 0'-0" BOTTOM OF JOIST
 0'-4 1/2" CEILING - FIRST FLOOR HALL
 0'-2 1/2" CEILING - SECOND FLOOR HALL
 0'-0" TOP OF ROOF
 0'-0" TOP OF CHIMNEY

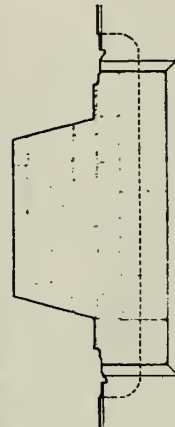


SECTION C-C
 0'-0" TOP OF ROOF
 0'-0" TOP OF CHIMNEY
 0'-0" TOP OF ROOF
 0'-0" TOP OF CHIMNEY

SECTION C-C

0'-0" TOP OF ROOF
 0'-0" TOP OF CHIMNEY
 0'-0" TOP OF ROOF
 0'-0" TOP OF CHIMNEY

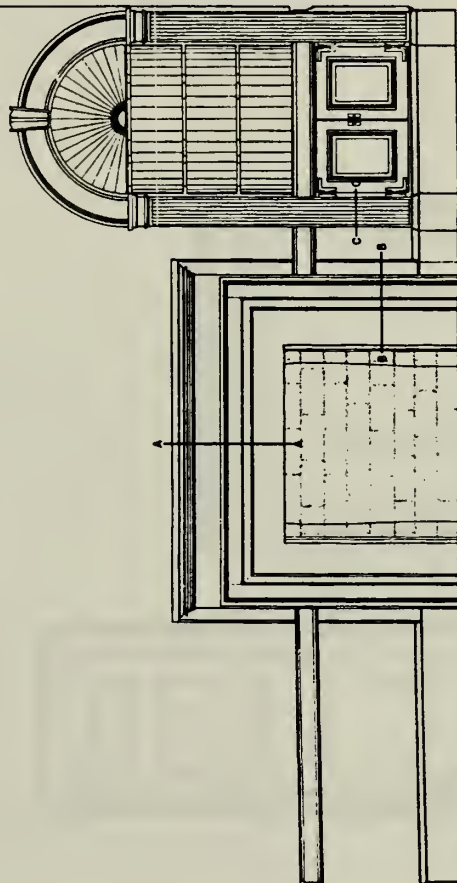
0'-0" TOP OF ROOF
 0'-0" TOP OF CHIMNEY
 0'-0" TOP OF ROOF
 0'-0" TOP OF CHIMNEY



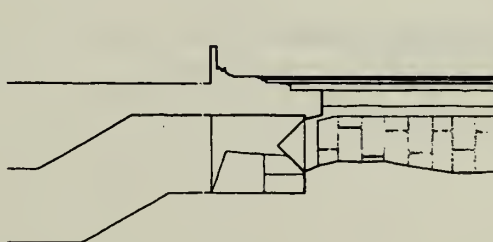
FIREPLACE PLAN



PROFILE C

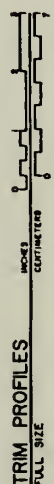


NORTHWEST ROOM ELEVATION



FIREPLACE SECTION

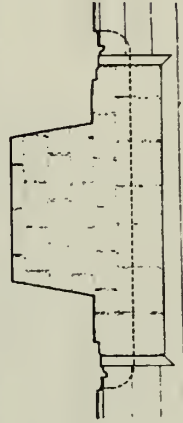
PROFILE A



TRIM PROFILES

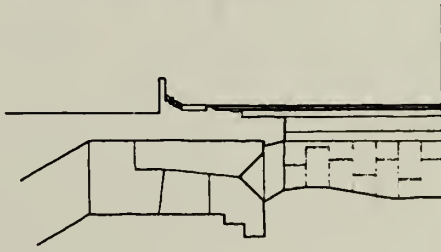
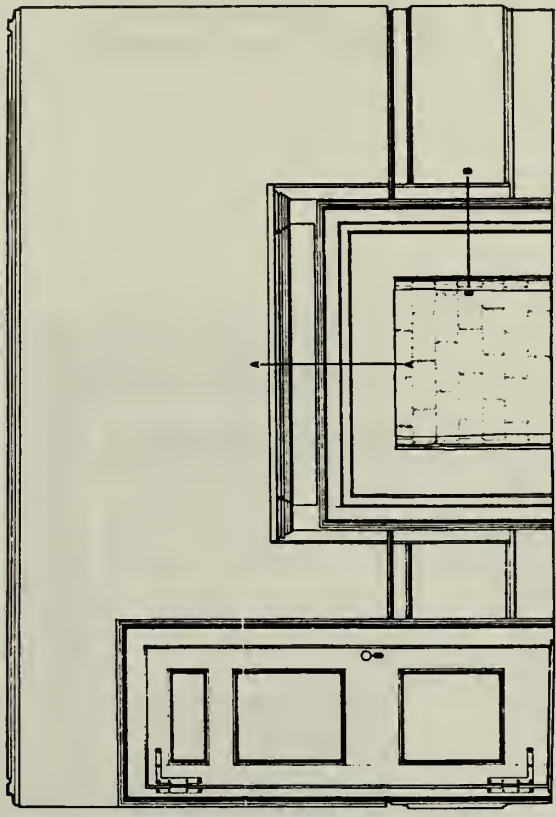
PROFILE B





FIREPLACE PLAN

NORTH EAST ROOM ELEVATION
 SOUTH WALL

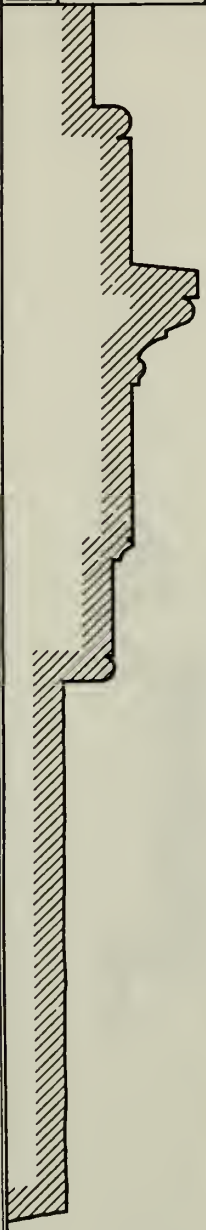


FIREPLACE SECTION

PROFILE A



PROFILE B



TRIM PROFILES
 FULL SIZE

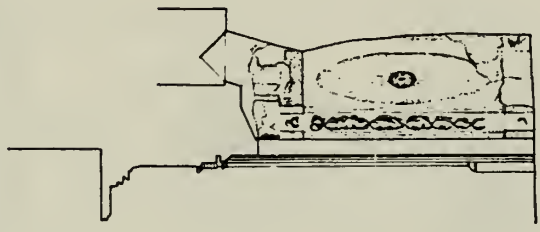


TRIM PROFILES
 1/2" x 1/2" x 1/2"

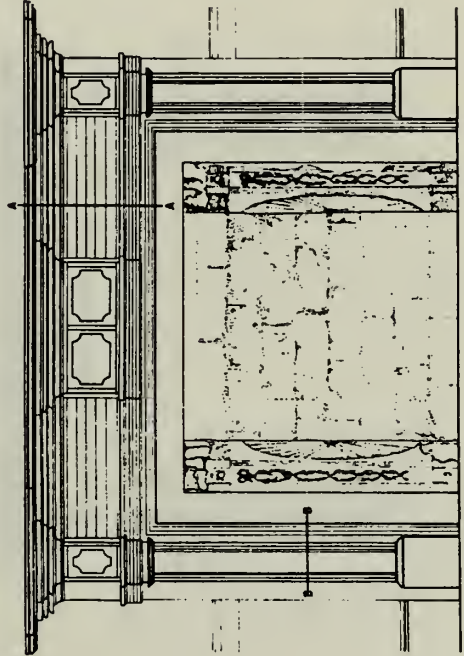


FIREPLACE DETAIL
 BUTTERY ROOM
 SEE PAGE 106
 CENTIMETER 1:4

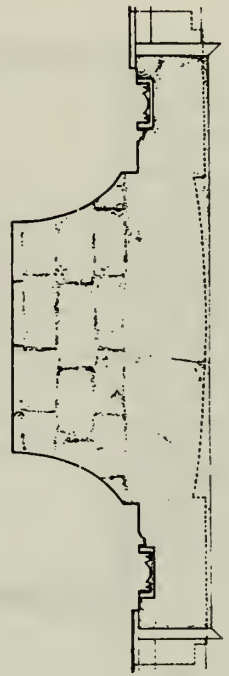
SECTION



ELEVATION



PLAN

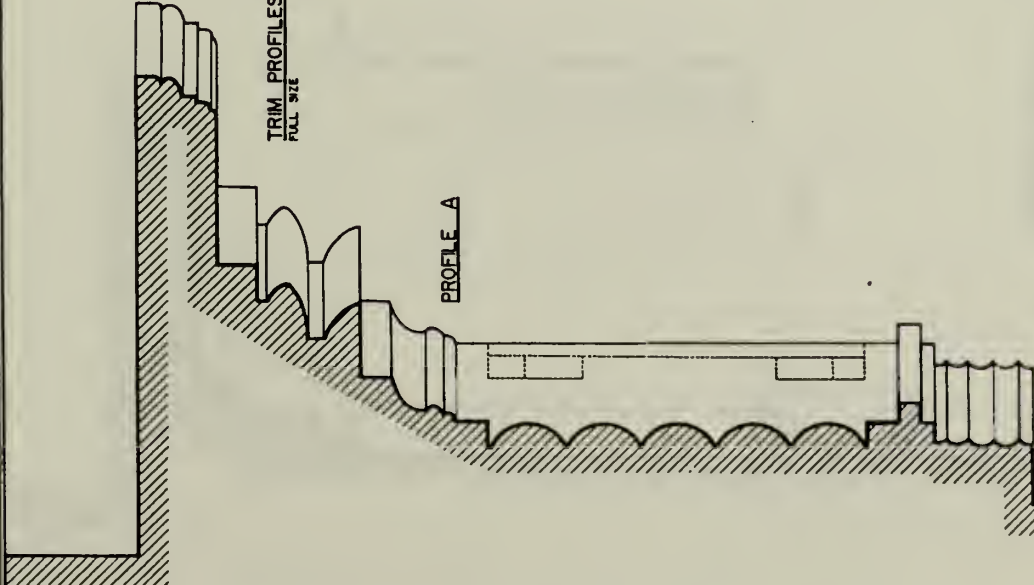


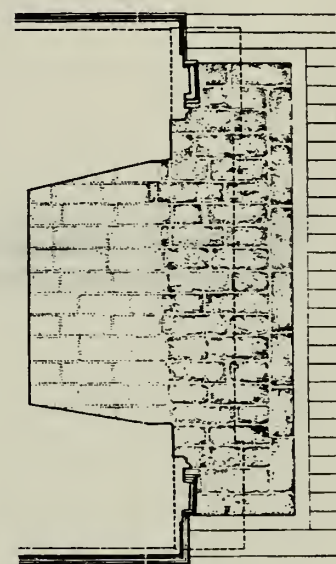
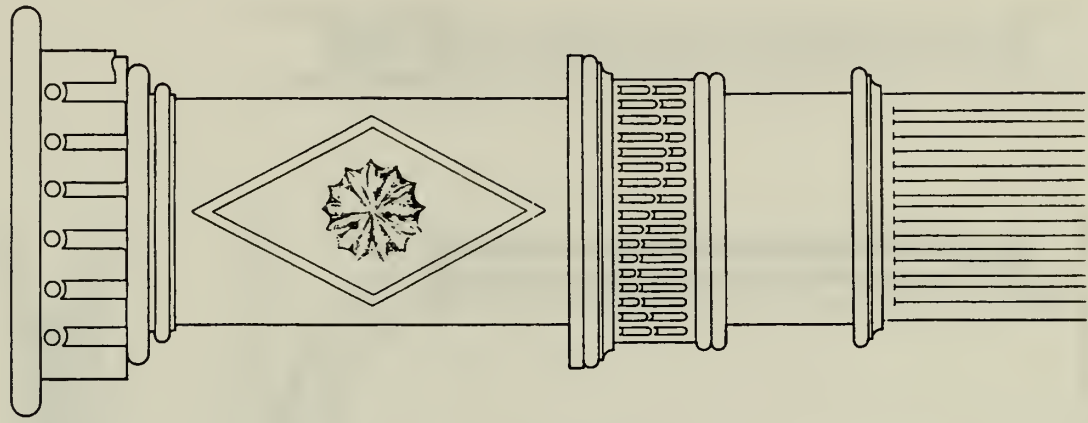
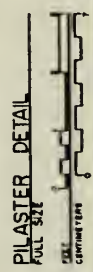
PROFILE B



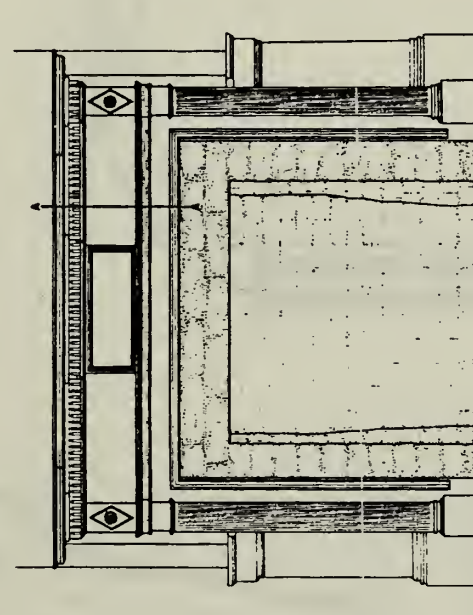
TRIM PROFILES
 FULL SIZE
 SCALE
 CENTIMETERS

PROFILE A

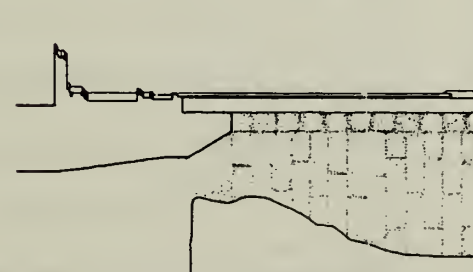




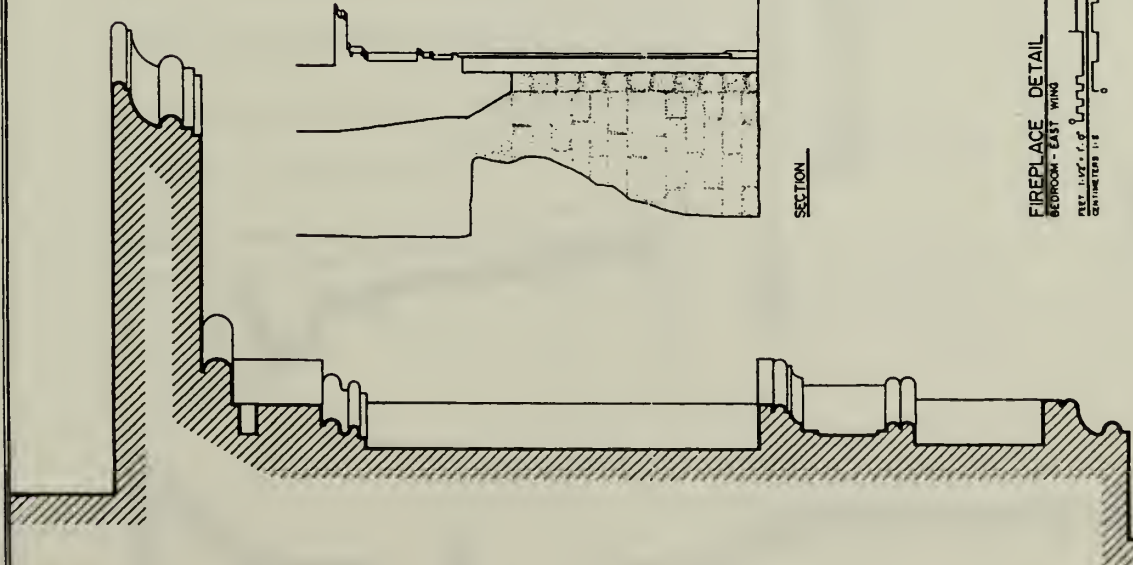
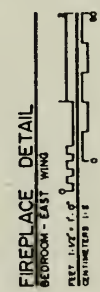
PLAN



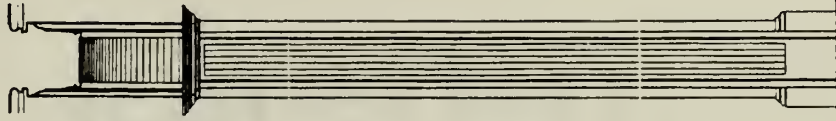
ELEVATION _____



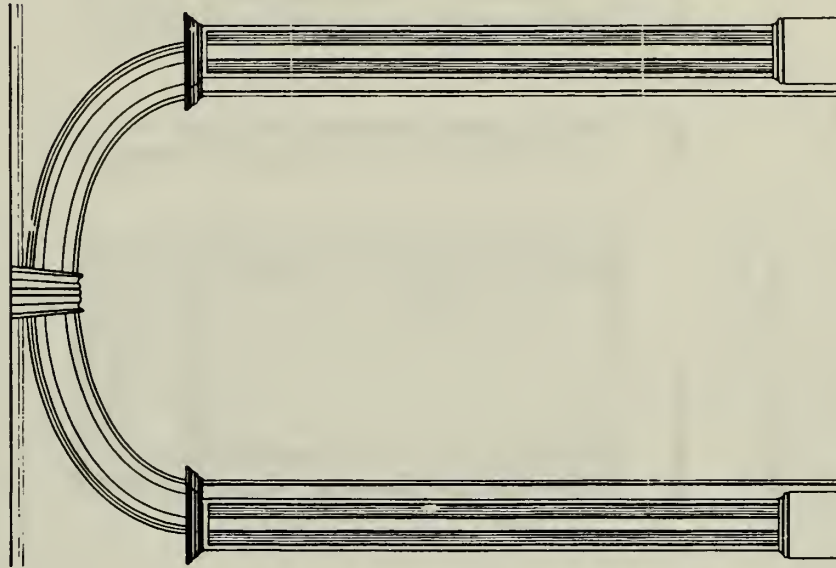
SECTION



SECTION



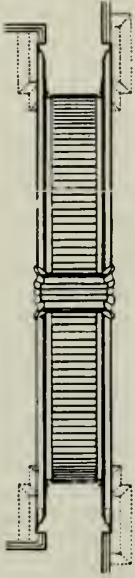
NORTH ELEVATION



FEET 1/2" = 1'-0"
CENTIMETERS 1:6

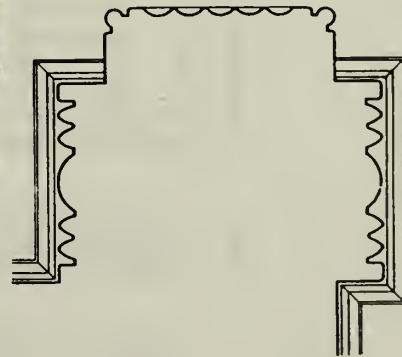
HALL WAY ARCH

REFLECTED CEILING



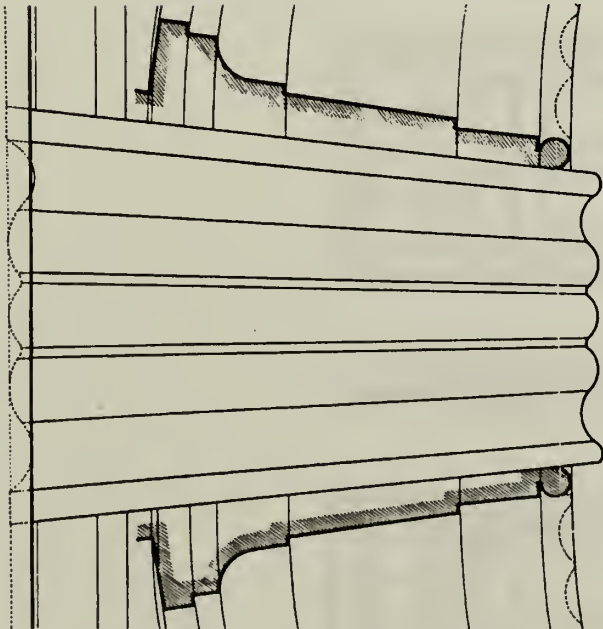
FEET 1/2" = 1'-0"
CENTIMETERS 1:6

PIER PLAN

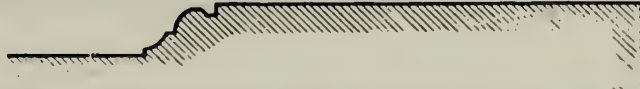


MODEL
CENTIMETERS

KEYSTONE
FULL SIZE



BASE
FULL SIZE



CAPITAL
FULL SIZE



DATE FROM RECORDING PROJECT - JANUARY 1990
DRAWN BY: J. L. BROWN, JR.
CHECKED BY: J. L. BROWN, JR.

LAND POINT ROAD - MOUNT PLEASANT - CHARLESTON COUNTY - SOUTH CAROLINA
SNEE FARM
SNEE FARM - 1.5 ACRES - 1.5 ACRES - 1.5 ACRES

SC-87

HISTORIC AMERICAN
BUILDINGS SURVEY
SCALE 1/4" = 1'-0"

SHEET NUMBER PROJECT: SNEE FARM
 DRAWN BY: MICHAEL E. THOMPSON
 CHECKED BY: MICHAEL E. THOMPSON

SNEE FARM
 1000 SNEE ROAD - MOUNT PLEASANT, CHARLESTON COUNTY - SOUTH CAROLINA

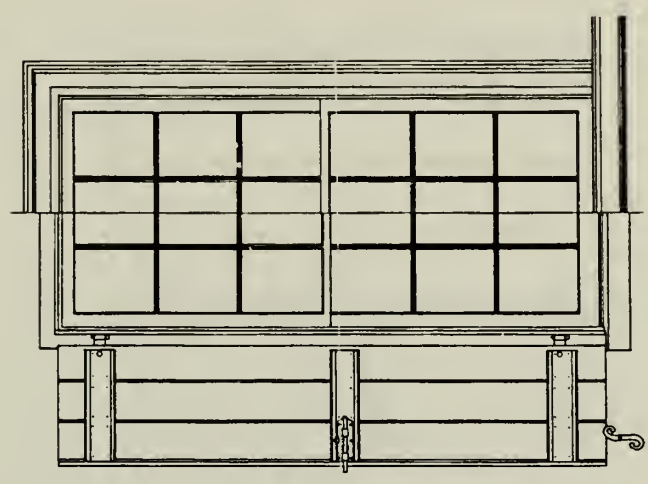
DATE: 01/10/00
 SCALE: 1/4" = 1'-0"
 SHEET NO. 01 OF 02

9/9 WINDOW
 SOUTHERLY ROOM
 SCALE: 1/4" = 1'-0"
 CONTINUATION 1/8

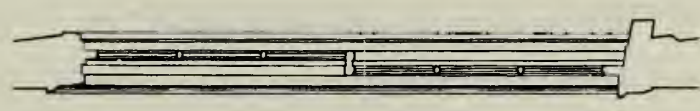
PLAN



ELEVATION



SECTION

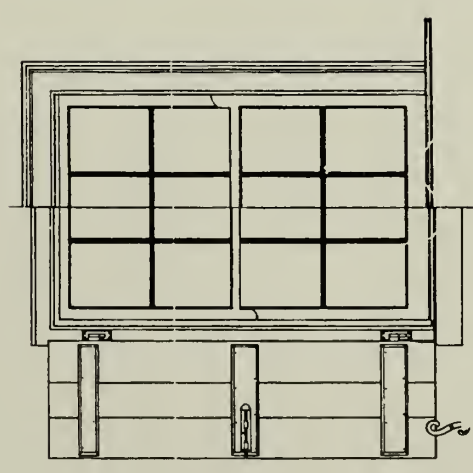


9/6 WINDOW
 SOUTHERLY ROOM
 SCALE: 1/4" = 1'-0"
 CONTINUATION 1/8

PLAN



ELEVATION



SECTION



SEE MAIN RECORDING PROJECT - JANUARY 1990

THIS FORM: RECD BY RECORD, E. BRANHAM

LOWE PORT ROAD - SOUTH PLASANT - CHARLESTON COUNTY - SOUTH CAROLINA

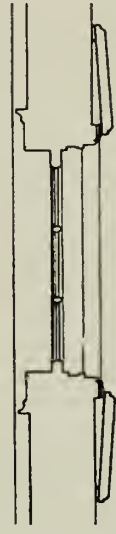
SNEE FARM

SC-87

HISTORIC AMERICAN BUILDINGS SURVEY

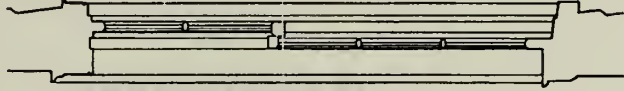
FEET 1/4" = 1'-0"
CENTIMETERS 1:5

PLAN

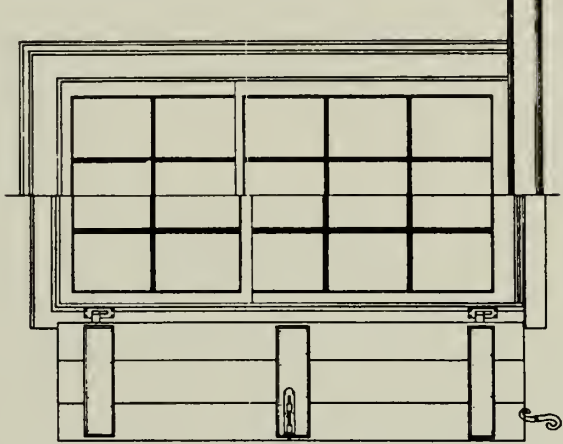


S/S WINDOW
FIRST FLOOR REAR ROOM

SECTION



ELEVATION





PHOTOS





South elevation.



Northeast elevation: note the east and west wings.



Southeast view of the main building before the addition of the east and west wings



Southeast elevation.



Northwest view with east and west wings.



Southwest elevation: note the west wing of the main house.



West elevation.



North porch with brick steps and stone treads. The steps at the base extending in a scroll to either side, lead to the porch. Posts are square and handrails and balustrades are removed to repair.



Photo identifies the north porch area view toward the east.



Photo indicates the fireplace foundation in the crawl space and the batt insulation inserted between the joists of the first floor in the main building.



In this photo, note the connection of the floor joists with the girder in the main building. The connection of the floor structural members, as shown in the photo, are mortise and tenon with a wood peg.



North elevation: note east and west wings on the main building.



East elevation.



Brick chimney in the west wing roof. The main house has two interior chimneys. They are rectangular-shaped with corbelled tops and an ornamental row of bricks laid in a saw-tooth pattern the same as the above picture.

Detail of the double-hung window with board and batten wood shutters in the main building. Most of the first floor window sashes are original judging from the style of the muntin profile and from their construction. The profile is a style found from the beginning of the 19th century until about 1840 (see Chief, Preservation Assistance Report dated April 14, 1992).





Photo shows the southeast corner of the east wing; note the downspout drains right in the ground adjacent to the brick wall foundation and causes damage.



Photo shows the detail of the connection of the main house to the west wing. Note pitch of the roofs and the size of the downspout, which is typical for the main building and the wings.



Southeast elevation of the porch. Note the size of the copper gutter and downspout. It appears the size of downspouts are not enough to drain all of the water from the roof. Downspout drains adjacent to the brick pier and causes damage.



Photo shows the south porch area. Note the floor, ceiling, chamfered posts, handrailing, and balustrade with turned balusters. The wooden floor and it's structure rests on the brick piers.



Lower level corridor and the stair in the main building. Note the open well cypress wood stair with plain rounded hand rail, plain square balusters (two per step); a single carved piece with chamfered edge and a round cap newel, and scroll-cut pieces along the sting. All of the woodwork in the corridor and stairs are cypress.

Photo shows the second floor corridor toward the stairs, corridor, and stair railing. The rail in the corridor is not original and was added with wire nails prior to the removal of the hallway paint as evidenced by the paint found below a removed piece of trim fastened with wire nail (see Chief, Preservation Assistance Report dated April 14,1990). Presumably, this rail was added in 1936.



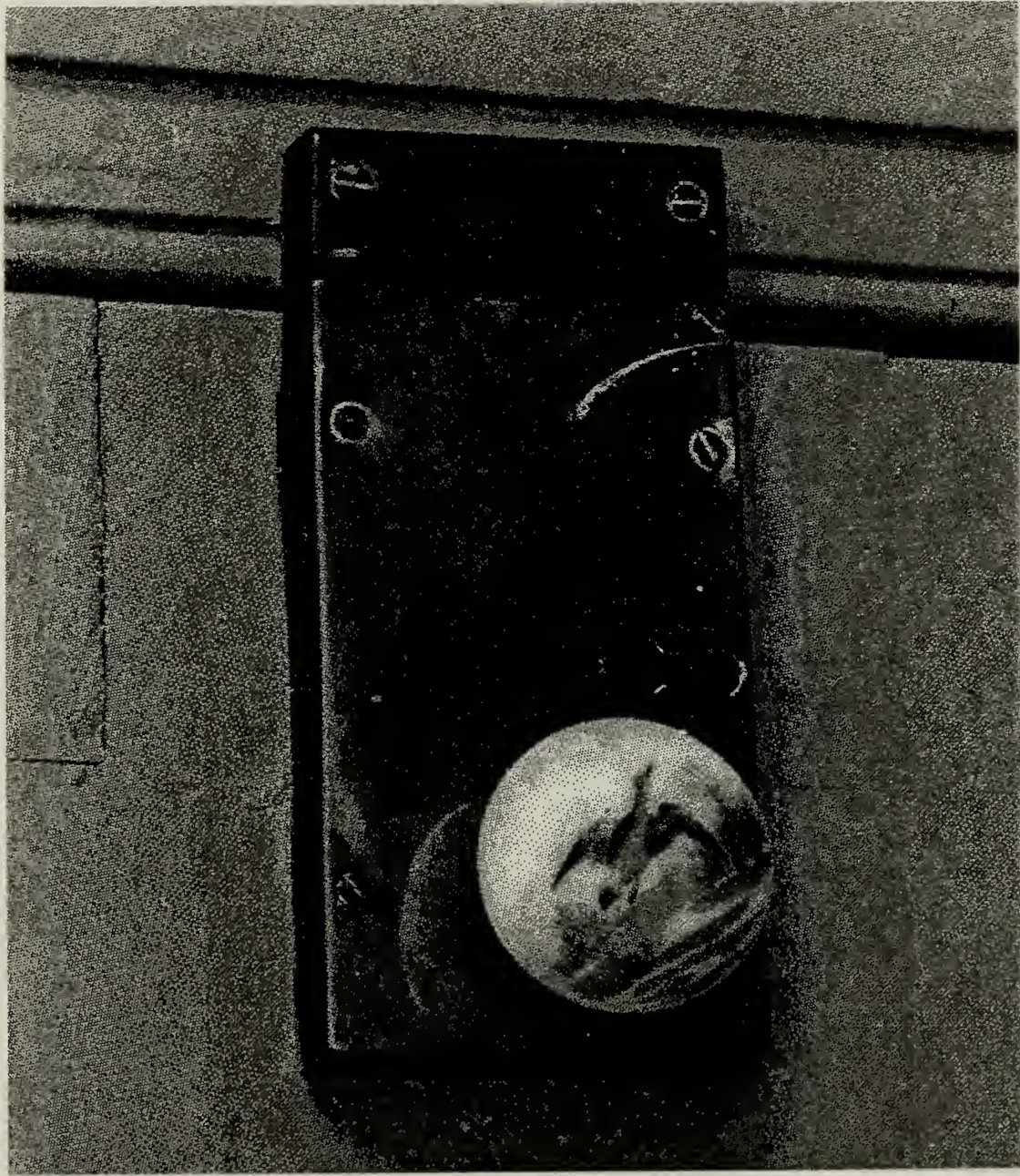
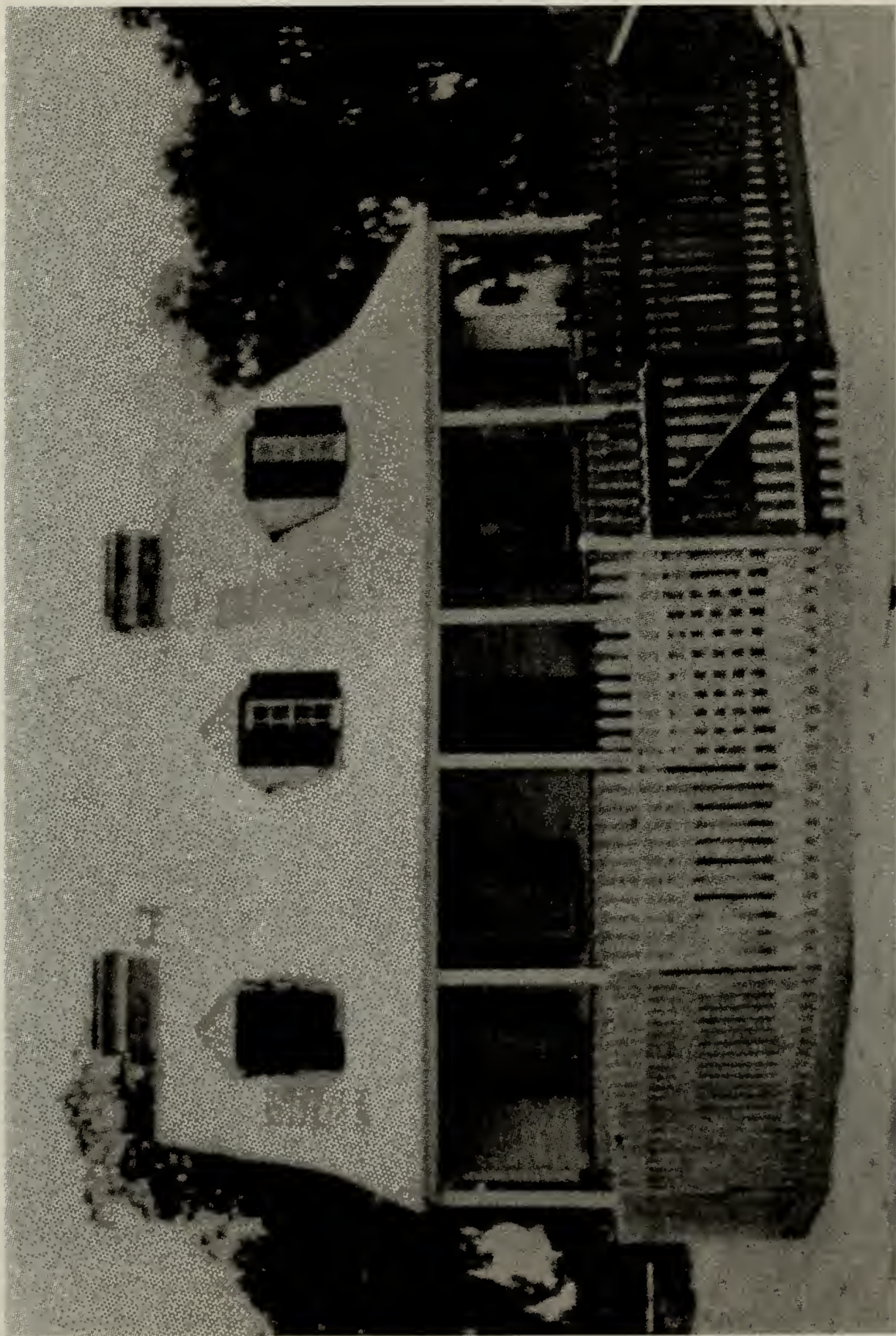


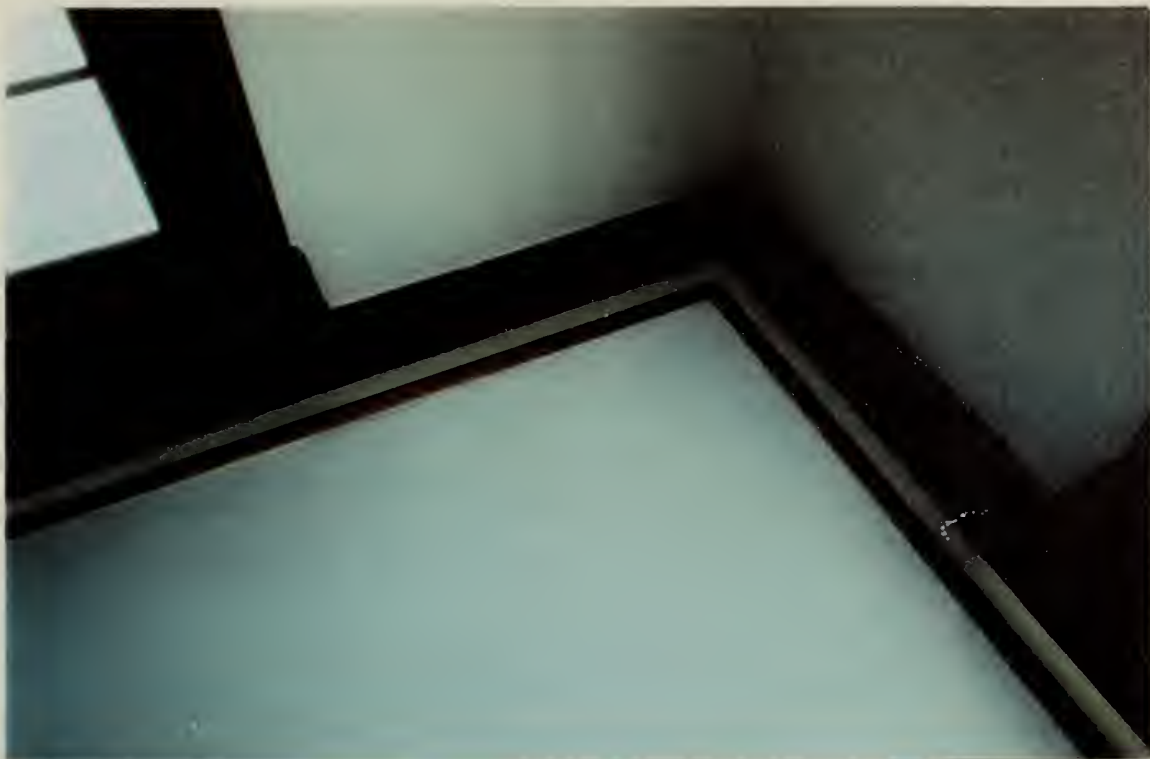
Photo shows the lock set and ceramic knob of the door in the southeast room of the main building. It appears that this lock set and ceramic knob are original.



View of the main building before addition of the wings in the east and west.



West wall of the basement under the west wing. Note the electric panels and the original window. Windows in this wall have been removed and their openings filled with brick.



Detail of the decorative molding on the ceiling in the southeast room in the main building.



Photo shows the original metal swivel hinge on the room's entrance doors in the main building.



Photo shows that the interior part of the west wing was used for a kitchen. Note the upper and lower cabinets.



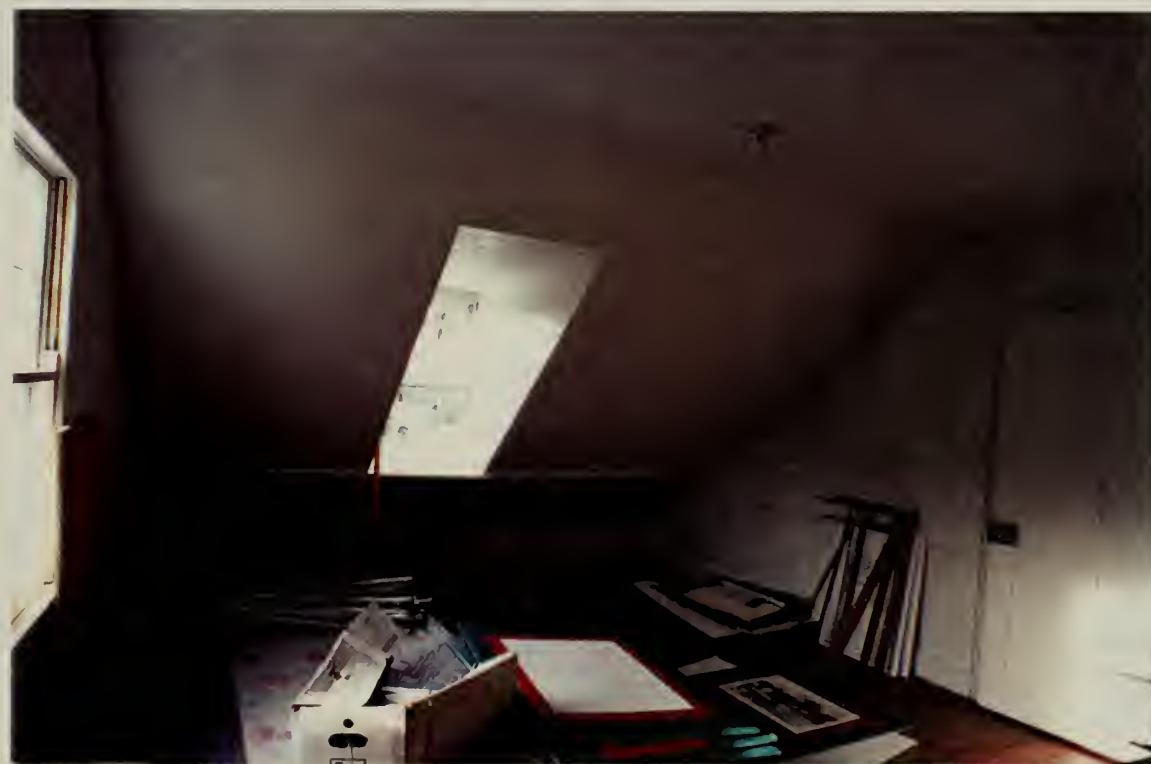
Photo shows part of the interior view of the west wing used for a kitchen. This photo was taken during remodeling of the kitchen in 1995.



Interior view of the west wing used for kitchen before 1995 remodeling (HABS drawing dated June 1990).



These photos show the interior part of the room on the second floor. It is not evident whether the dormer's board, trim, fire place mantel, wainscote, baseboard, door, and windows were painted or varnished.





First floor corridor in the main building (view toward the north entrance). Note the cypress wood board on the wall. The track lights were installed some time in 1995 and replaced with chandeliers.



First floor corridor in the main building. Note the decorative cypress wood arch with fluted pilasters and old chandeliers. This HABS photo was dated " June 1990."



Photo shows the second floor bathroom and corridor dormer before the 1995 remodeling. Wood boards and trim in the area around the dormer window are varnished. It is not evident if varnish is the original finish or not.



Photo shows hand-carved wood mantel, fireplace, and fire box in the southeast room of the main building. Note the marble trim around the fire box and the decorative cast iron on each side of the fire box. The most elaborate mantel that appears in the house are in the southeast and southwest room. These mantels flanked by pilasters in the same pattern as the hall archway, and has paneled end block and center tablet frieze, along a frieze with oversized reeding.



Photo shows the detail of the fire box. Note: the marble trim, decorative cast iron, and part of the hand-carved wood mantel on the side of the fire box.



View toward the west of the basement under the west wing. Note basement windows are covered with bricks and the girder supported with a temporary 4"x4" wood post and a jack. Basement openings should be opened to promote air circulation, reduce moisture, and bring some light into the basement.



View toward the east wall of the basement under the west wing. Note the surface damage on the concrete wall caused by moisture.



View of the basement toward the north. Note the basement stair on the left of the picture and the unaligned post under the girder adjacent to the brick chimney and ladder.

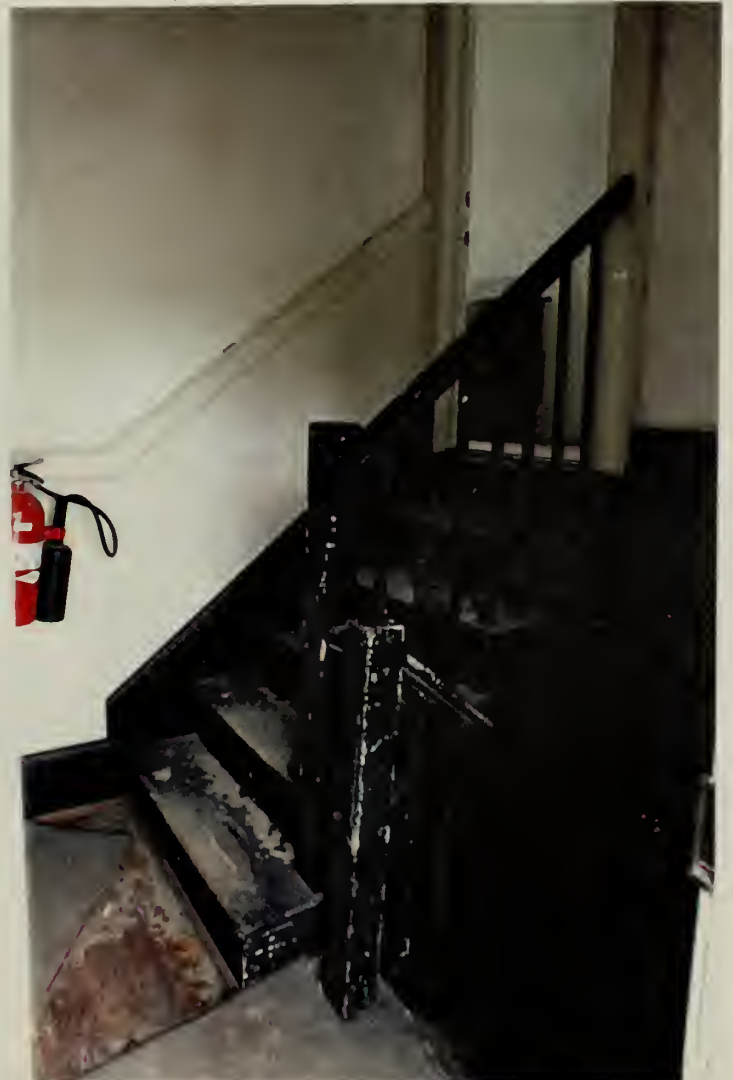


Photo shows the stair leading to the basement in the west wing.



Interior view of the east wing room during the remodeling in April 1995.



Interior view of the southeast room in the main building. Note the wainscoting, door and window trim with valances, and ceiling molding.



West wing room; Note the access on the left side of picture to the new handicap toilet. The toilet wall is a new sheetrock wall and the ceiling and wall on the right side of the picture are plaster.



Photo shows new handicap toilet in the east wing.



Southwest room door's trim, wainscoting, and baseboard in the main building are painted. Due to lack of a paint analysis, it is not clear if the door trim and wainscoting were originally painted or varnished.

Photo shows the door's wood trim, wainscoting, and baseboard in the southeast room in the main building. Due to lack of a paint analysis, it is not evident if this color is the original color of the door, wainscoting and door trim.





The brick chimney wall with plaster and T. & G. wood board on the north part of the opening. Note the ghost silhouette of the partition wall between two closets on the brick wall and the sign of the shelves on the wood wall.

Photo shows the east wall of the gun shelves cabinet. Note the ghost silhouette of the shelves on the gray side of the wood board and the T. & G. wood board wall in the case opening.





Photo shows the north and east walls of the southeast room in the main building. Note the fireplace and the case opening to the right side of the fireplace.



Photo shows the detail of the fireplace and the case opening in the southeast room. At one time, there was a gun cabinet in the southeast room. Note the line and different color on the wood boards on the east wall inside the opening.



Photos show the original doors that belong to the southeast and southwest rooms on the first floor in the main building. Note the entrance door is painted on one side and the other side is varnished.





Photo shows the fireplace and brick fire box in the east wing room. Note the decorative antique wood mantel on the fireplace. This wood mantel was salvaged from somewhere else (see HABS history).



Detail of the decorative wood mantel on the fireplace in the east wing room.



Photos show the decorative elliptical cypress wood archway with symetrically molded fluted pilaster on the first floor corridor in the main building. The underside of the arch reeded and it is topped with a key stone. Note both chandeliers have been replaced with track lights. It would be more authentic to remove the track lights and install the chandeliers in their original place.





Photo shows the interior part of the main building attic. Note the original wood sheathing and the connection of the rafters. Rafters in the ridge are connected to each other by tenant and mortise with wood peg.





These photos show the damage and broken fiber cement shingles on the left side of the middle dormer in the south that has been covered with sheet metal. Sheet metal has not been installed properly and that has caused rainwater to penetrate the roof and eventually the ceiling of the first floor.





Damaged wood siding on the dormer walls in the south part of the main building.

Some of the existing copper flashing on the dormer sills are not installed in a proper way. This has caused the rainwater to penetrate under the metal flashing through the roof and finally through the ceiling above the north entrance door. See detail C in the appendix.





Photo shows damage (in the corner where the wall meets the ceiling) caused by penetration of rainwater from the corner of the middle dormer in the south into the roof and eventually to the ceiling.



Photo shows the damaged wall in the classroom lobby under the window. This was caused by the penetration of rainwater from gutter overflow on the window sill and eventually in the wall.



Mildew damage on the paint surface of the south porch ceiling , similar to this is on the surface of the gable in the east and west part of the main building.





Photos show basement joists in the south part temporarily supported with an un-aligned post and a metal jack close to the brick chimney





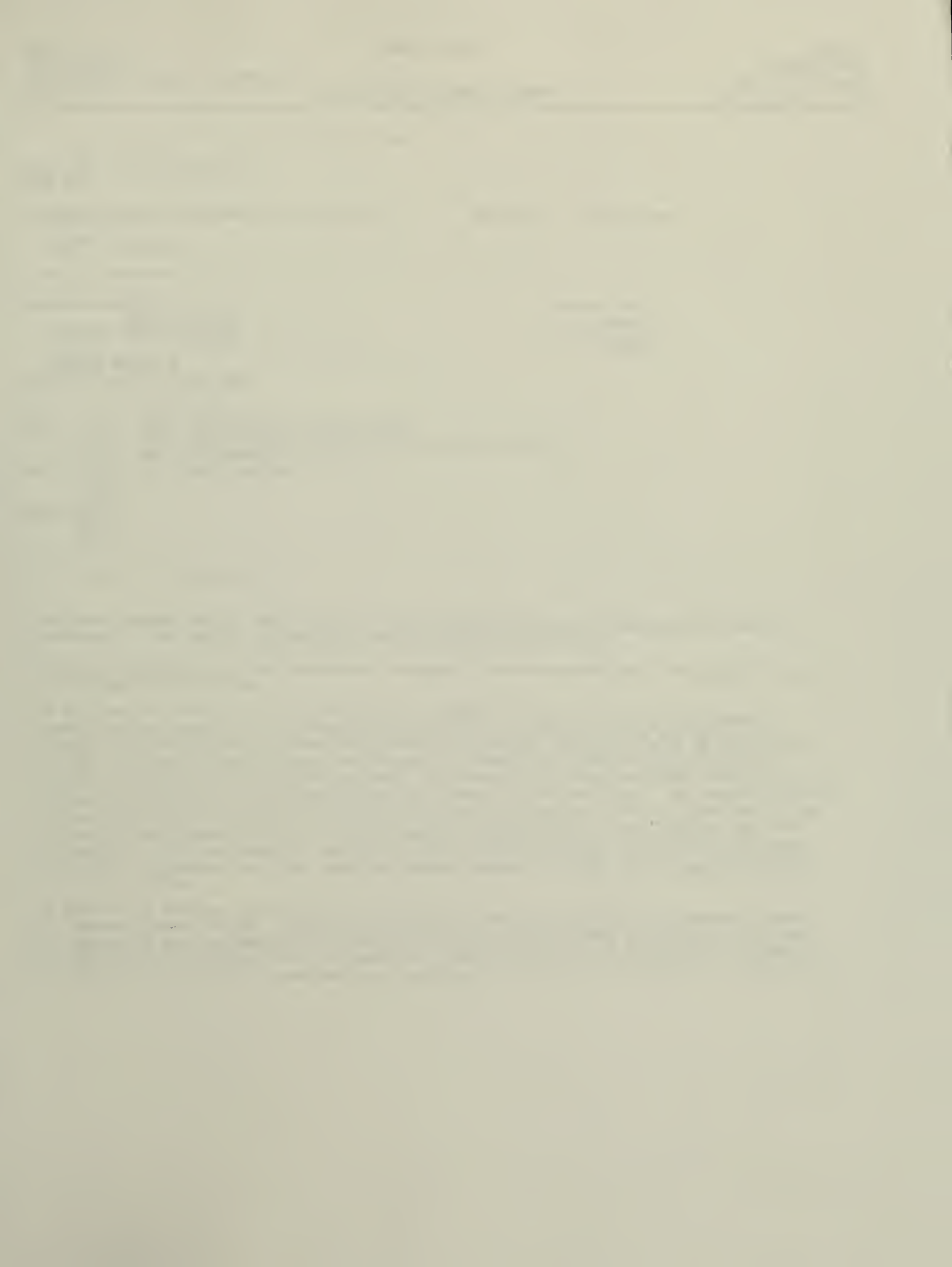
These photos show the termite damage in the joists and girders in the basement ceiling in the west wing in the north part of the brick chimney. These damaged joists and girders need to be replaced with new.

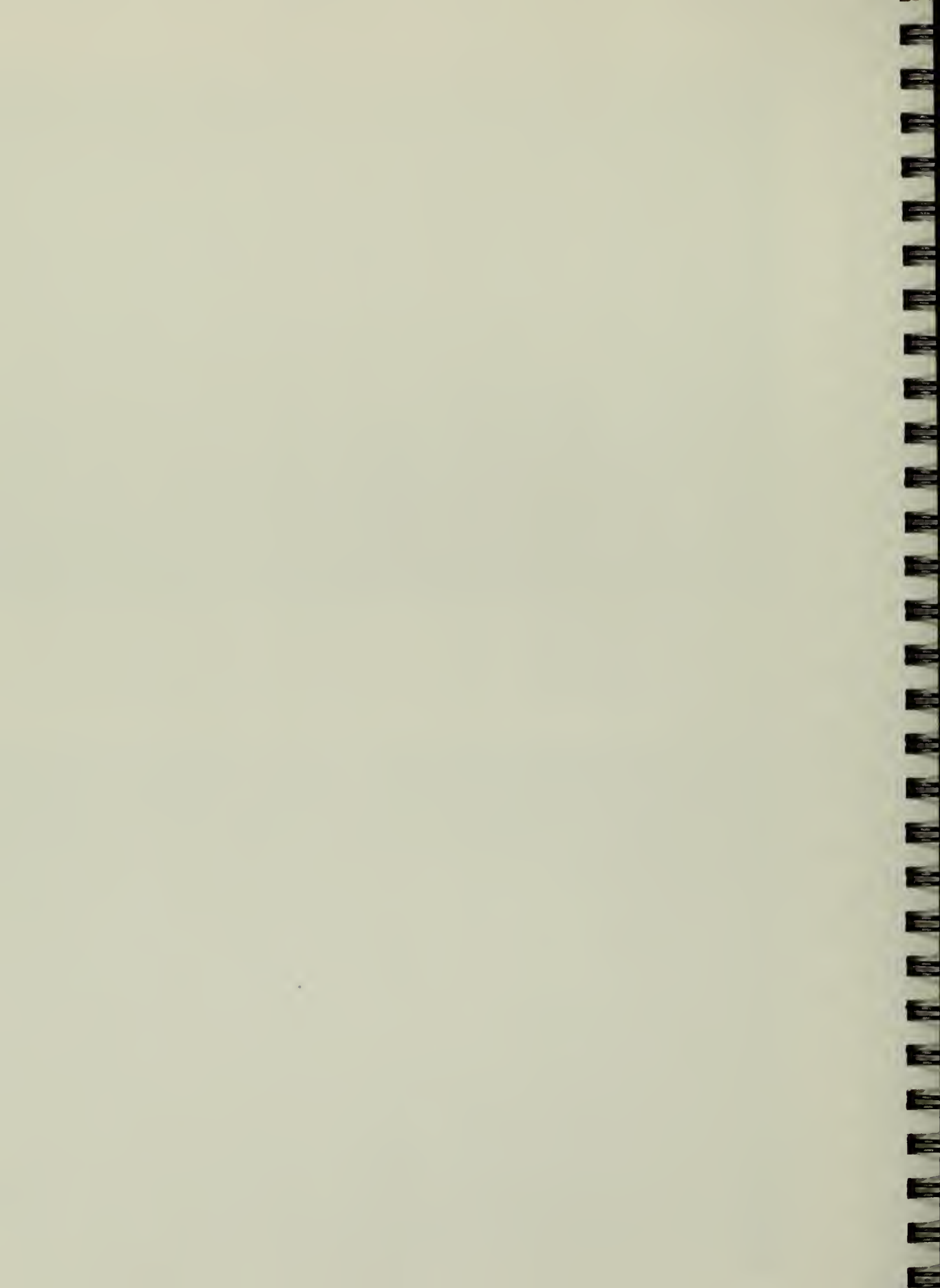




These photos show the ghost silhouettes of the wood supports on the 2"x4" wood girder every 24" on center. At the present time this girder is supported by a wood post (3-2"x4" wood) and a metal jack in the area close to the chimney.







- - IDENTIFICATION INFORMATION - - - - -

OTHER NAME: Snee Farm Main House
OTHER NAME:

LOCATION: Charles Pinckney National Historic Site Charleston, South Carolina
COUNTY: Charleston

- - MANAGEMENT / OPERATIONS INFORMATION - - - - -

MANAGEMENT CATEGORY: B Seasonal Use: N
DATE: 01/01/1993 Season:
MANAGEMENT UNITS: CHPI/CCYC/..../..../..../.... OPEN TO PUBLIC: Y
 /..../..../..../..../.... HOURS: 9-4
HISTORIC RATING: H
CONSTRUCTION DATE: 1820 - 1828

USE	CODE	USE TYPE
Current	Use 1: 04EC	Visitor contact (visitor center)
	Use 2: 04EA	Administrative office (headquarters, district office)
	Use 3: 04EG	Interpretation facility
Historic	Use 1: 01A	Single dwelling
	Use 2:	
	Use 3:	
Proposed	Use 1:	
	Use 2:	
	Use 3:	

- - EXECUTIVE SUMMARY - - - - -

The Charles Pinckney National Historic Site is located in Charleston County in southeast South Carolina. Established in 1988, the site was acquired by the National Park Service in 1990.

The site is approximately one-half mile west of U.S Highway 17 and is situated within the corporate limits of Mount Pleasant, South Carolina.

The main house was probably built circa 1828 by William Mathews, a lowcountry planter. This house is a comparatively rare example of a 19th century coastal cottage. The main block of one-and-one-half story structure with a Georgian plan is raised about 4 feet above the grade, and measures 38 by 36 feet. The main house has five bays and is side gabled. The side-gable roof features two interior chimneys along the ridgeline and an engaged full-width porch across the south elevation. Two wings were added to the rear in the 1930's. The floorplan of the main house features four rooms off a center stair hall. The interior stair is set along the east wall at the north end of the hall. An elliptical archway divides the center hall in half and symmetrically molded pilasters flank the doorway with fluted pilasters to either side under the arch. The house is sturdily constructed and it's majore members are mortised and held in place with wooden pegs. The house is in fairly good condition. The interior and exterior of the house, as well as the brick piers were painted. The basement under the kitchen wing is damp, assuming due to the drain of downspout adjacent to the wall foundation.

The main house at Snee Farm is significant at the State level under criterion C as a representative example of a lowcountry coastal cottage. South Carolina's gentry built coastal cottages on plantations throughout the lowcountry in the first decades of the 19th century. Architectural features found at the main house at Snee Farm such as the side-gable roof, full-width front porch, Georgian plan, and neoclassical ornamentation, are characteristic of coastal cottages throughout the region.

SOUTHEAST AREA

ATLANTIC COAST

CHARLES PINCKNEY NATIONAL HISTORIC SITE

08/12/97 3:23 pm

Park General

HISTORIC ASSET ASSESSMENT REPORT

CHPI-5440-H-1

-BU

- - C O S T S U M M A R Y - - - - -

FEATURE HEADING	CRITICAL	MAJOR ASSESSMENT PRIORITY			TOTAL
		SERIOUS	MINOR		
4100 EXTERIOR	\$ 3219	\$ 626	\$ 0	\$	3845
4200 INTERIOR	\$ 2722	\$ 4455	\$ 198	\$	7375
4300 ROOF	\$ 2148	\$ 0	\$ 0	\$	2148

TOTAL ESTIMATE	\$ 8089	\$ 5081	\$ 198	\$	13368

- - I N S P E C T I O N I N F O R M A T I O N - - - - -

INITIAL INSPECTION DATE: / /

INSPECTIONS:

DATE	INSP FIRM	AREAS INSPECTED
07/18/1997	National Park Service	SESO Historic Preservation/ Architecture

SOUTHEAST AREA

ATLANTIC COAST

CHARLES PINCKNEY NATIONAL HISTORIC SITE

08/12/97 3:23 pm

Park General

GENERAL INFORMATION REPORT

CHPI-5440-H-1 -BU

- - IDENTIFICATION INFORMATION - - - - -

UTM COORDINATES

ZONE	EASTING	NORTHING	ELEVATION
			0 FT MSL

- - BUILDING INFORMATION - - - - -

SIZE INFORMATION

Total Gross Area:	5190 SF	Number of Stories:	2.0
First Floor Area:	2886 SF	Number of Rooms:	9
Additional Floor Area:	1177 SF	Number of Baths:	5.0
Total Floor Area:	4063 SF	Number of Bedrooms:	4
Finished Basement Area:	0 SF	Perimeter Length:	367 LF
Unfinished Basement Area:	542 SF	Roof Area:	4362 SF
Total Basement Area:	542 SF		

NUMBERING INFORMATION

Number on Building: H-1
Housing Number:
Energy Number:
Concession Number:

NFPA INFORMATION

Construction Type: V
Occupancy Class: E
Occupancy Load: 0
Hazard of Contents: 0 Low
Seismic Zone: 1 Moderate Damage
Percent Occupied: 100%

- - REAL PROPERTY INFORMATION - - - - -

ACQUISITION

Cost: \$ 0
Date: 1990
Doc:

NPS LEGAL INTEREST

Interest: FEE
Fee Simple Date: / /

APPRAISAL

Value: \$ 450000
Year: 1990
Source: ATTAWAY

MANAGEMENT AGREEMENTS:

Agreement Type: NO None
Lessee Name:
Address:
City:
Effective Date: / /

Agreement No:

ST: ZIP:
Expiration Date: / /

APPLICABLE CODES:

SOUTHERN BUILDING CODE
NFPA 101
ANSI
ELECTRICAL

CODE VARIANCES:

Date: Description:

Approved By:

- - MANAGEMENT INFORMATION - - - - -

MANAGEMENT GOALS:

According to General Management Plan, the management objectives are as follows:

A- Visitor Experience:

1- To interpret Charles Pinckney's role in framing the Constitution.

2- To present Charles Pinckney's role in South Carolina's transition from a colony to a State within the context of a young Nation.

3- To create a sense of time and place that allows the visitor to experience Snee Farm, a modest lowcountry plantation, during Charleston's "Golden Age."

B- The Historic Site:

1- To maintain the basic structure of the house at Snee Farm as a classic architectural example of an early 19th century lowcountry plantation house.

2- To identify, protect, and interpret limited examples of historic agricultural and open space and selected archeological resources at Snee Farm related to the Pinckney family period (1730-1820's); including foundation, formal gardens, and pathways.

C- Related Lands:

1- To present a rural and agricultural character surrounding Snee Farm by promoting conservation of adjacent important cultural and natural resources (such as views to and from the site, wetlands, scenic corridors, and other site features).

INSP CONSIDERATIONS:

SEASONAL PROCEDURES:

EMERGENCY/SAFETY:

- - HISTORICAL INFORMATION - - - - -

SIGNIFICANCE:

PERIOD OF CONSTRUCTION:

SIGNIFICANCE INFORMATION

Significance:
NR Status: Undetermined
Decision Date: / /
NHL Status: N
DATE: / /
Nat Catalog:

HISTORICAL DOCUMENTATION

LCS ID No.:
HABS No.:
HAER No.:
NR No.:
CSI ID No.:

TREATMENT RESPONSIBILITY

Interim Treatment:
App. Ult. Treatment: Not specified
Routine Maint.:
Cyclic Maint.:
Prop Ult Treatment:
Document:
DATE: / /

- - DOCUMENTATION INFORMATION - - - - -

TITLE: General Management Plan/ Development Concept Plan
Charles Pinckney National Historic Site
AUTHOR: U.S. Department of the Interior-National Park Service-Southeast Regi
LOCATION: Atlant, Georgia
TITLE: Snee Farm

DOC DATE: March 1994
CRBIB #:

VIEW?: N
DOC #:
TYPE: R

AUTHOR: Historic American Buildings Survey
LOCATION: Washington D.C.

DOC DATE: June 1990
CRBIB #:

VIEW?: N
DOC #: SC-87
TYPE: D

SOUTHEAST AREA

ATLANTIC COAST

CHARLES PINCKNEY NATIONAL HISTORIC SITE

08/12/97 3:23 pm

Park General

GENERAL INFORMATION REPORT

CHPI-5440-H-1 -BU

- - MAJOR IMPROVEMENT / MODIFICATIONS - - - - -

CONSTRUCTION DATE: 1820 - 1828 DESCRIPTION: Original Construction/Acquisition

TYPE: DOC NO:

COST: \$ 0 DESIGNER: DESIGNER CODE:

PERFORMED BY: RESP. PERSON:

CONSTRUCTION DATE: 1936 - 1941 DESCRIPTION: Additions to the main house.

TYPE: Alteration DOC NO:

COST: \$ 0 DESIGNER: Beers and Farley DESIGNER CODE: A

PERFORMED BY: RESP. PERSON:

CONSTRUCTION DATE: 1991 - 1992 DESCRIPTION: Rehabilitation of the main building and additions.

TYPE: Rehabilitation DOC NO:

COST: \$ 0 DESIGNER: NPS DESIGNER CODE: A

PERFORMED BY: NPS RESP. PERSON:

CONSTRUCTION DATE: 1995 - 1995 DESCRIPTION: Remodeling of the kitchen and the room and toilet

TYPE: Rehabilitation DOC NO:

COST: \$ 0 DESIGNER: in the west wing. DESIGNER CODE: A

PERFORMED BY: NPS RESP. PERSON:

TOTAL COST OF MAJOR IMPROVEMENTS/MODIFICATIONS: \$0

SOUTHEAST AREA

ATLANTIC COAST

CHARLES PINCKNEY NATIONAL HISTORIC SITE

08/12/97 15:24:11

Park General

FEATURES, DESCRIPTIONS, AND NOTES

CHPI-5440-H-1 -BU

FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
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At the time of evaluation and inspection there was no access to the porch structures.

FEATURE UNITS:

0001

Feature General

EXTERIOR	4123	Ext Ceiling Trim	Wood	T	LF	74.000	
----------	------	------------------	------	---	----	--------	--

FEATURE DESCRIPTION:

2" wood trim all around the back porch ceiling.

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

EXTERIOR	4130	Ext Floor Surface/Cover	Wood-Tongue & Groove	T	SF	623.000	
----------	------	-------------------------	----------------------	---	----	---------	--

FEATURE DESCRIPTION:

3"x1" T.& G. wood strip on the front porch (361 sf.). 3"x1" T.& G. wood strip on the rear porch (262 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

EXTERIOR	4131	Ext Floor Structure	Wood-Frame	H	SF	623.000	
----------	------	---------------------	------------	---	----	---------	--

FEATURE DESCRIPTION:

5"x3" cedar wood joist 27" O.C. mortised and consolidated with wood peg to 7-1/2"x7-1/2" cedar wood girder 7'-3" o.c. on the front porch (361 sf.). Assume the rear porch has the same floor structure (262 sf.).

FEATURE NOTES:

At the time of inspection and evaluation of the structure, there was no access to the rear porch structure.

FEATURE UNITS:

0001

Feature General

EXTERIOR	4140	Ext Window Unit	Wood	H	EA	45.000	
----------	------	-----------------	------	---	----	--------	--

FEATURE DESCRIPTION:

Double-hung windows in the east and west wings (14 ea.). Single hung 6 over 6 windows in the east and west wing connections (4 ea.). Double hung 9 over 9 wood windows with narrow muntins and meeting rails in the downstairs of the main section (old building) (12 ea.). Double hung 6 over 6 wood windows in the upstairs in the main building (10 ea.). Single frame wood window with 6 pane glass in the basement (2 ea.). Window opening in the basement area (3 ea.).

FEATURE NOTES:

First floor windows in the main building have a simple, narrow band surround with an innerbead. This pattern is repeated in the perpendicular band that holds the upper sash in place.

The basement window openings are covered with brick masonry.

FEATURE UNITS:

0001

Feature General

EXTERIOR	4141	Ext Window Frame	Wood-Frame	H	EA	43.000	
----------	------	------------------	------------	---	----	--------	--

FEATURE DESCRIPTION:

2"x6" cedar wood frame on all windows in the main house.

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
EXTERIOR	4142	Ext Window Sash	Wood	H	EA	40.000	
FEATURE DESCRIPTION:							
Double-hung wood sashes 9 over 9 in the lower part of the main house (12 ea.). Double-hung wood sashes 6 over 6 in the upper level of the main house (10 ea.). Double-hung 6 over 9 wood sashes on the wings (14 ea.). 6 over 6 wood sash in the dressing room and butler pantry (4 ea.).							
FEATURE NOTES:							
Most of the first floor window sashes are original judging from the style of the muntin profile and from their construction. The profile is a style found from the beginning of the 19th century until about 1840. All of the wood sashes have single pane glass (9-1/2"x11").							
FEATURE UNITS:							
0001 Feature General							
EXTERIOR	4143	Ext Window Trim	Wood	T	LF	618.000	
FEATURE DESCRIPTION:							
2-1/2"x1" wood trim on all 9 over 9 windows (216 lf.). 2-1/2"x1" wood trim on all 6 over 9 windows (182 lf.). 2-1/2"x1" wood trim on 6 over 6 windows (154 lf.), and 1"x6" wood trim on the dormers typical (66 lf.).							
FEATURE NOTES:							
FEATURE UNITS:							
0001 Feature General							
EXTERIOR	4144	Ext Window Hardware	Metal	T	EA	40.000	
FEATURE DESCRIPTION:							
Counter weights (ropes, pullies, and metal weights) in the east and west wings (18 ea.). All of the windows in the main house operate with spring bolts (22 ea.).							
FEATURE NOTES:							
FEATURE UNITS:							
0001 Feature General							
EXTERIOR	4145	Ext Window Sill	Wood	H	EA	43.000	
FEATURE DESCRIPTION:							
3"x8" wood sill in all windows in the main building upstairs and downstairs and in the windows in both wings (40 ea.). 3"x8" wood sills in the windows in the basement (3 ea.).							
FEATURE NOTES:							
FEATURE UNITS:							
0001 Feature General							
EXTERIOR	4147	Ext Window Shutter/Blind	Wood-Tongue & Groove	H	EA	34.000	
FEATURE DESCRIPTION:							
Double swing wood shutters built with 5-1/2"x1" T. & G. wood boards with three batten boards on the back of all of the shutters. There are no shutters on the dormers and basement windows.							
FEATURE NOTES:							
An old photograph shows the house without the wings, and with shutters on the dormers (see photograph section). Each window's wood shutter has lock bolt and two metal S shaped shutter holders.							
FEATURE UNITS:							
0001 Feature General							
EXTERIOR	4148	Ext Window Lintel	Wood	H	EA	43.000	
FEATURE DESCRIPTION:							
Assume 3"x6" or 3"x8" cedar wood lintel in the main house and 3"x6" wood lintel (both in the wings and in the basement).							
FEATURE NOTES:							
FEATURE UNITS:							
0001 Feature General							

FEATURES, DESCRIPTIONS, AND NOTES

FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
------------------	---------	--------------	-----------------------	-----------	-----------	-----------------	------

EXTERIOR	4150	Ext Door Unit	Wood	T	EA	5.000	
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FEATURE DESCRIPTION:

6 panel colonial wood door with 4 pane glass transome in the front (1 ea.) and with 3 pane glass transome (1 ea.) in the rear part of the main building. 6 panel colonial wood door in the back porch (one for each wing 2 ea.). 6 panel colonial wood door on the west side of the west wing (1 ea.).

FEATURE NOTES:

The other style of the front door called cross-and-open-bible (see HABS history).

FEATURE UNITS:

0001 Feature General

EXTERIOR	4151	Ext Door Frame	Wood	T	EA	5.000	
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FEATURE DESCRIPTION:

Cedar wood frame in the doors in the main building (2 ea.) and pine wood frame in the wing doors (3 ea.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

EXTERIOR	4152	Ext Door	Wood	H	EA	5.000	
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FEATURE DESCRIPTION:

See # 4150

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

EXTERIOR	4153	Ext Door Trim	Wood	T	LF	74.000	
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FEATURE DESCRIPTION:

Decorative wood trim on the door frames on the front and rear porchs (57 lf.). 2"x2" wood on the door on the west wall of the west wing (17 lf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

EXTERIOR	4154	Ext Door Hardware	Metal-Other	H	EA	30.000	
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FEATURE DESCRIPTION:

Old and original metal lock sets on all doors (5 ea.). Glass knobs on the front door (1 ea.). Metal knob on the wing doors (3 ea.). Latch lock set on the rear door (1 ea.). HL metal hinges (2 on each door, total 10 ea). New lock sets on the front and rear doors (3 ea.).

FEATURE NOTES:

Old lock sets, knobs, metal latches and HL metal hinges should not be removed from the doors.

FEATURE UNITS:

0001 Feature General

EXTERIOR	4155	Ext Door Sill/Threshold	Wood	H	EA	5.000	
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FEATURE DESCRIPTION:

3"x8"wood sill on all doors.

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

SOUTHEAST AREA

ATLANTIC COAST

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Park General

FEATURES, DESCRIPTIONS, AND NOTES

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FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
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EXTERIOR	4156	Ext Door Storm/Screen	Wood-Other	N	EA	4.000	
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FEATURE DESCRIPTION:
Wood frame screen doors on the front and rear porchs with glass openings. Glass opening in the south porch 33"x66" and on the north door 28"x60" and on the east wing's screen door 24"x58".

FEATURE NOTES:

West wing screen door on the north porch is missing.

FEATURE UNITS:

0001 Feature General

EXTERIOR	4158	Ext Door Lintel	Wood	H	EA	5.000	
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Wood lintels on all exterior doors

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

EXTERIOR	4160	Exterior Finish	Paint-Other	H	SF	6949.000	
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FEATURE DESCRIPTION:
Paint on the walls (wood sidings) windows, doors, columns, dormers, trim, shutters, railings, porch ceilings, porch floors, brick piers, and brick wall foundation.

FEATURE NOTES:

It appears that the whole exterior part of the structure was painted in the early 1990's.

FEATURE UNITS:

0001 Feature General

EXTERIOR	4170	Ext Stair/Ramp Surf/Cover	Sandstone	T	LF	35.000	
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FEATURE DESCRIPTION:
12", 13", and 19" wide by 2" thick sandstone on 6' length of the stair treads in the south part.

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

EXTERIOR	4171	Ext Stair/Ramp Structure	Brick	H	EA	65.000	
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FEATURE DESCRIPTION:
Brick stair structure in front of the south porch (35 sf.) and in front of the north porch (30 sf.).

FEATURE NOTES:

The north stair built with soldier course brick, size of the bricks 4-1/4"x3"x8-3/4"/
South porch stair treads are sandstone over the brick stair structure.

FEATURE UNITS:

0001 Feature General

EXTERIOR	4173	Ext Stair/Ramp Railing	Brick	T	LF	18.000	
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FEATURE DESCRIPTION:
14" thick and from 2'-6" - 5'-6" high brick parapet on each side of the north porch stair.

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4210	Int Wall Surface/Cover	Plaster/Stucco	H	SF	8342.000	
----------	------	------------------------	----------------	---	----	----------	--

FEATURE DESCRIPTION:
Plaster on the 1st and 2nd floor (6711 sf.)/ 5"-6" vertical cedar wood boards on the 1st and 2nd floor corridor walls (930 sf.)/ Sheetrock on the first floor bathroom walls (160

SOUTHEAST AREA

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Park General

FEATURES, DESCRIPTIONS, AND NOTES

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FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
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sf.)/ T.& G. wide wood boards on the side walls of the dormer in the 2nd floor(192 sf.)/
4" wide cedar wood board in the closet in the laundry room (130 sf.)/ 10" T.& G. wood
board on the opening between the northeast and southeast room (28 sf.)/ 4-1/2"x4-1/2"
ceramic tile in the upper and lower level bathrooms (191 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4211	Int Wall Structure	Wood	H	SF	2013.000	
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FEATURE DESCRIPTION:

3"x4" cypress wood 24" o.c. in the main building upstairs and downstairs (1357 sf.)/ 2"x4"
and 2"x6" wood in the east wing (toilet walls 228 sf.)/ 3-1/2"x3-1/2" wood studs in the
west wing walls (306 sf.)/ 2"x4" wood studs in the walls under the stair in the basement
(77 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4213	Int Wall Trim	Wood	H	LF	1206.000	
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FEATURE DESCRIPTION:

4-1/2" decorative cypress wood chair railing and 8-1/2" baseboard in the downstairs rooms
in the main building (311 lf.)/ Half circle 3" diameter cypress wood molding with 8-1/2"
beaded baseboard and cornice molding in the corridor (262 lf.)/ 1/4" cornice wood molding
in the upstairs corridor (80 lf.)/ 7-1/2" baseboard with 3/4" decorative chair railing in
all of the rooms on the 2nd floor (157 lf.)/ 6" wood base with 4-1/2" decorative chair
railing in the upstairs bathroom (150 lf.)/ One piece 26-1/2" high cypress unpainted
wainscot in the southeast and southwest room in the lower level and in the corridor
downstair (201 lf.)/ 4-1/2" decorative picture molding in the kitchen (west wing) with 8-
1/2" beaded base board (45 lf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4215	Int Column/Post	Wood	H	EA	1.000	
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FEATURE DESCRIPTION:

Decorative cypress wood arch with a keyed arch bisects the stair hall and features molded
fluted pilasters and a reeded underside.

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4218	Int Fireplace	Brick	H	EA	7.000	
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FEATURE DESCRIPTION:

Five fireplaces on the 1st floor and two fireplaces on the 2nd floor. Fireplaces in the
southwest and southeast rooms have decorative cypress wood mantels with brick fire boxes.
Southeast fire box has marble on the edge with concrete hearth. Fire box in the southwest
room has two decorative steel plates on each side of the fire box with concrete hearth
(see photo in the photo section). Northeast and northwest fireplaces consist of decorative
wood mantels and brick fire boxes and brick hearths. Northeast wing room fireplace has
decorative wood mantel with brick fire box and soldier course brick hearth.

FEATURE NOTES:

The decorative wood mantel in the northeast wing, salvaged from elsewhere (see HABS history
report).

FEATURE UNITS:

0001 Feature General

FEATURES, DESCRIPTIONS, AND NOTES

FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
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INTERIOR	4220	Int Ceiling Surface/Cover	Plaster/Stucco	H	SF	3460.000	
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FEATURE DESCRIPTION:

Plaster over wood lath on the 1st and 2nd floor in the main building (2343 sf.)/ Sheetrock on the east wing ceiling (502 sf.)/ Plaster in the west wing ceiling (615 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4221	Int Ceiling Structure	Wood	H	SF	2208.000	
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FEATURE DESCRIPTION:

3"x5" wood joists 20" o.c. in the main building (1091 sf.)/ 2"x8" wood joists 16" o.c. on both east and west wings (1117 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4223	Int Ceiling Trim	Wood	H	LF	251.000	
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FEATURE DESCRIPTION:

7" wide decorative wood trim in the north and south rooms in the main building.

FEATURE NOTES:

All of the ceiling wood trim (except in the southeast room) has been painted.

FEATURE UNITS:

0001 Feature General

INTERIOR	4230	Int Floor Surface/Cover	Wood	H	SF	3661.000	
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FEATURE DESCRIPTION:

T.& G. wood board on the entire 1st and 2nd floors (3403 sf.)/ 10"x10" tile in the bathroom on the 1st floor (133 sf.)/ Sheet vinyl in the bathroom upstairs (125 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4231	Int Floor Structure	Wood	H	SF	4022.000	
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FEATURE DESCRIPTION:

4"x9" cypress wood joists 24" o.c. on the first floor in the main building (1154 sf.)/ 4"x9" wood joists 24" o.c. on the 2nd floor (1091 sf.)/ 2"x9" wood joists 16" o.c. under the east and west wings (1323 sf.)/ Concrete slab in the basement (454 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4232	Int Floor Decking	Wood	H	SF	2314.000	
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FEATURE DESCRIPTION:

T.& G. wood boards under the 1st floor of the main building and wings (2314).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4233	Int Railing/Balustrade	Wood	H	LF	47.000	
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FEATURE DESCRIPTION:

Cypress wood railing in the northeast part of the corridor with 3" diameter round cypress wood hand railing and 3/4"x3/4" square wood railing 5" o.c. in the stairs and as guard rail in the upstairs corridor in the main building(24 lf.)/ 3-1/8"x3-1/8" decorative cypress wood newel in the bottom and top of the stair(7 lf.)/ Wood hand railing with 3/4"x3/4" wood railing 5" o.c. and square wood newel in the basement stair (16 lf.) (see photos in the photo section).

FEATURE NOTES:

SOUTHEAST AREA

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FEATURES, DESCRIPTIONS, AND NOTES

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FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
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According to Chief, Preservation Assistance, Report dated April 14, 1992, and architectural historian report (page 21-22), the rail on the 2nd floor along the stair opening is not original and was added with wire nails prior to the removal of the hallway paint as evidenced by the paint found below a removed piece of trim fastened with wire nails. Presumably, this rail was added in 1936; the paint would have been removed at some time later. There is no evidence of a rail at this location earlier. (It is not clear how the stair rail terminated since the second floor newel does not appear to show evidence of relocation and may not be original.)

FEATURE UNITS:

0001 Feature General

INTERIOR	4243	Int Window Trim	Wood	H	LF	550.000	
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FEATURE DESCRIPTION:

5" wide decorative wood trim on the windows in the main building (200 lf.)/ 5-1/2" decorative wood trim with apron on the windows in the northwest wing (119 lf.)/ 5-1/2" decorative wood trim without apron on the windows in the northeast wing (119 lf.)/ 5" decorative wood trim on the 2nd floor windows and butler and dressing area windows (112 lf.)/

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4250	Int Door Unit	Wood	H	EA	25.000	
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FEATURE DESCRIPTION:

Wood cypress colonial doors on the 1st and 2nd floors (12 ea.)/ 2 panel wood door in all storage areas, in the upstairs bathroom, and under the main stair (12 ea.)/ Sliding door in the west wing (1 ea.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4251	Int Door Frame	Wood	H	EA	25.000	
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FEATURE DESCRIPTION:

Wood frame on the first floor (14 ea.) and on the 2nd floor (11 ea.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4253	Int Door Trim	Wood	H	LF	820.000	
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FEATURE DESCRIPTION:

6" wide decorative cypress wood on the doors on the 1st floor in the main building (232 lf.)/ 3-1/2"-6" decorative wood trim on the doors in the east and west wings (300 lf.)/ 5" decorative wood trim on the doors on the 2nd floor corridor (136 lf.)/ 3-1/2" decorative wood trim on the doors on the 2nd floor (152 lf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

INTERIOR	4254	Int Door Hardware	Metal	H	EA	93.000	
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FEATURE DESCRIPTION:

Swivel hinges on the doors in the south rooms (4 ea.)/ HL hinges on the rest of the doors in the main building (upstairs and downstairs 20 ea.)/ Standard hinges on the doors in the west wing (6 ea.)/ Old lock sets with metal or ceramic knob in the main building (22 ea.)/ Lock sets with metal knob in the upstairs (11 ea.)/ Special small knobs and lock sets for the smaller closets (4 ea.)/ Mortise lock sets with metal knobs in the west wing bathroom (2 ea.)/ Old lock sets with metal hinges on the toilet doors in the east wing (6 ea.)/ Lock sets on the downstairs corridor closets (2 ea.)/ Old lock sets with metal hinges on the toilet doors in the east wing (6 ea.)/ Lock sets on the downstairs corridor closet (2 ea.)/ Old lock sets with ceramic knobs on both sides on the southeast and the southwest room doors (4 ea.)/ Old lock sets with metal knobs on the doors in the northeast and

SOUTHEAST AREA

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FEATURES, DESCRIPTIONS, AND NOTES

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FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
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northwest rooms (4 ea.).

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

INTERIOR	4260	Interior Finish	Paint-Latex	H	SF	11078.000	
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FEATURE DESCRIPTION:

Paint on the walls, ceilings, cabinet, doors, windows, trim, wood base, wainscots, and dormer windows. Varnish on the wood boards in corridors, moldings, trim, stair railings, window trim, ceiling trim, fireplace mantel and windows.

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

INTERIOR	4270	Int Stair/Ramp Surf/Cover	Wood	H	EA	2.000	
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FEATURE DESCRIPTION:

1" thick cypress wood (10"x35") on the treads of the corridor stairs in the main building (37 sf.)/ 1" thick cypress wood (7"x35") on the riser of the stairs in the main building. 1" thick tread and riser on the stair in the basement area.

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

INTERIOR	4271	Int Stair/Ramp Struct	Wood	H	EA	2.000	
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FEATURE DESCRIPTION:

1" thick wood stringers on each side of the stair in the main building and in the west wing.

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

INTERIOR	4273	Int Stair/Ramp Railing	Wood	H	LF	47.000	
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FEATURE DESCRIPTION:

See #4233

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

INTERIOR	4281	Wall Insulation	Loosefill Insulation	N	SF	4933.000	
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FEATURE DESCRIPTION:

Blow in insulation in the exterior walls.

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

INTERIOR	4283	Floor Insulation	Batt Insulation	N	SF	3562.000	
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FEATURE DESCRIPTION:

2 layer batt insulation inserted between the joists in the main building and east wing under the crawl space and in the basement area in the west wing.

FEATURE NOTES:

FEATURE UNITS:

0001

Feature General

INTERIOR	4284	Roof Insulation	Insulation-Other	N	SF	4361.000	
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FEATURE DESCRIPTION:

Sheet metal flashing inserted between the rafters in the main building and wings.

FEATURE NOTES:

FEATURE UNITS:

FEATURES, DESCRIPTIONS, AND NOTES

FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
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0001 Feature General

ROOF	4310	Roof Surface/Cover	Asphalt-Shingle	N	SO	44.000	
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FEATURE DESCRIPTION:

Fiber mineral shingles on the roof.

FEATURE NOTES:

The original roof covering on the main building and wings was cypress wood shingle. The existing roof covering should be replaced with cypress wood shingles.

FEATURE UNITS:

0001 Feature General

ROOF	4311	Roof Structure	Wood	H	SF	4361.000	
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FEATURE DESCRIPTION:

3"x5" cypress wood rafters 24" o.c. in the main building roof (2737 sf.)/ 2"x8" pine wood rafters 16" o.c. on the roof in the east and west wings (1624 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

ROOF	4312	Roof Sheathing	Wood	T	SF	4361.000	
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FEATURE DESCRIPTION:

7" wide T.& G. cypress wood board sheathing in the main building (2737 sf.)/ 7" wide T.& G. pine wood board in the west and east wings (1624 sf.).

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

ROOF	4322	Roof Vent	Other	H	EA	3.000	
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FEATURE DESCRIPTION:

All three roofs ventilate through the chimney. Each chimney has 3 holes that ventilate the air in the attic space.

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

ROOF	4330	Chimney	Brick	H	EA	4.000	
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FEATURE DESCRIPTION:

1'-5"x2'-2" brick chimney with corbelled top and an ornamental row of bricks laid in a saw-tooth pattern in the top in the west wing serves the basement boiler (1 ea.)/ 38"x25" brick chimney with the same decorative pattern in the top in the main building serving fireplaces in the east and west rooms on both floors (2 ea.)/ 38"x25" brick chimney with the same pattern on the top (1 ea.) in the east wing serving the east room in the main building.

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

ROOF	4333	Chimney Cap	Copper	N	EA	4.000	
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FEATURE DESCRIPTION:

Copper cap on all chimneys.

FEATURE NOTES:

FEATURE UNITS:

0001 Feature General

ROOF	4340	Roof Flashing	Lead Coated Copper	T	LF	68.000	
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FEATURE DESCRIPTION:

Step flashing (assume lead coated) around the chimneys and around the dormers.

FEATURE NOTES:

SOUTHEAST AREA

ATLANTIC COAST

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FEATURES, DESCRIPTIONS, AND NOTES

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FEATURE LOCATION	MM CODE	FEATURE NAME	FEATURE MATERIAL/TYPE	HIST RATE	MEAS UNIT	TOTAL INVENTORY	COND
FEATURE UNITS:							
0001		Feature General					
ROOF	4351	Gutter/Downspout	Copper	T	LF	390.000	
FEATURE DESCRIPTION:							
6" wide half round copper gutters on the main and wings (238 lf.)/ 3" diameter round copper downspout on the main and wings (152 lf.).							
FEATURE NOTES:							
FEATURE UNITS:							
0001		Feature General					
FOUNDATN	4410	Foundation Wall Surf/Cov	Concrete	T	SF	715.000	
FEATURE DESCRIPTION:							
Plaster cement all over the basement wall.							
FEATURE NOTES:							
FEATURE UNITS:							
0001		Feature General					
FOUNDATN	4411	Foundation Wall Struct	Concrete	H	SF	613.000	
FEATURE DESCRIPTION:							
8-1/2" thick concrete wall all around the basement 7'-0" high.							
FEATURE NOTES:							
FEATURE UNITS:							
0001		Feature General					
FOUNDATN	4413	Foundation Vent	Unspecified	H	EA	27.000	
FEATURE DESCRIPTION:							
Openings between brick piers all around the east wing and the main building.							
FEATURE NOTES:							
Some of the open areas between the brick piers in the east and north side are covered with boards and metal vents are installed in these boards for ventilation of the crawl space.							
FEATURE UNITS:							
0001		Feature General					
FOUNDATN	4420	Pier	Brick	H	EA	46.000	
FEATURE DESCRIPTION:							
Brick piers under the east wing and the main building (44 ea.)/ Metal jack and wood posts under the girders in the basement in the east wing (2 ea.).							
FEATURE NOTES:							
FEATURE UNITS:							
0001		Feature General					
FURNISHG	4514	Range	Not Applicable	N	EA	1.000	
FEATURE DESCRIPTION:							
Double wall mount oven in the west wing marked Whirlpool.							
FEATURE NOTES:							
FEATURE UNITS:							
0001		Feature General					
FURNISHG	4522	Kitchen Cabinet	Wood	T	EA	24.000	
FEATURE DESCRIPTION:							
Upper and lower cabinets in the west wing area with solid door and glass pane doors.							
FEATURE NOTES:							
FEATURE UNITS:							
0001		Feature General					

WORK RECOMMENDATIONS REPORT

MM FEATURE UNIT
CODE TYPE

LABOR
EQUIP
MAT

4110 FEATURE: Ext Wall Surface/Cover
UNIT: 0001
CMP/TYPE: Feature General
MOD:
PRIORITY: Critical

MATL/TYPE: Wood-Clapboard
DEF QTY: 16.000 UM: SF
COND: N/A HIST RATE: T
SOURCE: Others

FEA LOC: Exterior wall surface
\$ 234
0
48
=====

\$ 282

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

damaged wood board siding on the dormer walls in the south part of the main building.

RECOMMENDATION:

Replace all damaged wood siding board in the dormers in the south part of the main building with new, match the size, shape and the quality of the boards with the existing.

4160 FEATURE: Exterior Finish
UNIT: 0001
CMP/TYPE: Feature General
MOD:
PRIORITY: Critical

MATL/TYPE: Paint-Other
DEF QTY: 568.000 UM: SF
COND: N/A HIST RATE: H
SOURCE: Others

FEA LOC: Exterior Finish
\$ 1977
0
284
=====

\$ 2261

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

1. Peeled and damaged paint on the dormer in the south and north part of the building.

2. Mildew damage on the paint surface around the gable area in the east and west part of the main building and on the south porch ceiling.

RECOMMENDATION:

1. Remove all of the peeled paint from the surface of the dormer.

2. sand and clean the surface of the dormers.

3. Clean all of the mildewed areas with trisodium phosphate (TSP)

4. Paint all of the dormers and damaged mildew area. The painting job should take place in a dry season when the moisture in the environment is low, perhaps in the fall

4173 FEATURE: Ext Stair/Ramp Railing
UNIT: 0001
CMP/TYPE: Feature General
MOD:
PRIORITY: Critical

MATL/TYPE: Brick
DEF QTY: 14.000 UM: LF
COND: N/A HIST RATE: T
SOURCE: Means/Other

FEA LOC: Exterior Stair/Ramp Rai
\$ 508
0
168
=====

\$ 676

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

There is no railing in the south porch stair.

RECOMMENDATION:

1. Research to find if the south stair originally had hand railing. If there is documentation regarding

WORK RECOMMENDATIONS REPORT

the original handrailing provide a replica and install. The replica should be distinguishable from the original and the reconstruction should be documented in the completion report and kept in the structure file.

2. In case there is no documentation, provide a simple handrailing to comply with code requirement and install on both sides of the south stair. New handrailing should be distinguishable from the historic materials and other railing and should be a kind of material (not metal) that does not damage the stone stair. Document the new handrailing in the completion report and keep in the CHPI building file.

4211 FEATURE: Int Wall Structure	MATL/TYPE: Wood	FEA LOC: Wall Structure	
UNIT: 0001	DEF QTY: 45.000 UM: SF		\$ 1318
CMP/TYPE: Feature General	COND: N/A HIST RATE: H		0
MOD:	SOURCE: Others		180
PRIORITY: Critical			=====
			\$ 1498

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

1. There is no proper structural support under the joists in the basement ceiling around the area between the south wall of the basement and the brick chimney.

2. Joists are temporarily supported with an unaligned post (consists of 2-2"x4" wood attached together) and a metal jack somewhere close to the south part of the brick chimney in the basement.

3. There are ghost silhouettes of the wood supports on the 2"x4" girder every 24" o.c.

RECOMMENDATION:

1. Provide temporary support under the area that joists are not properly supported between the south wall of the basement and the brick chimney.

2. Remove the metal jack and unaligned wood post.

3. Provide 2-2"x10" wood with 2"x10"x1/2" wood sheathing. Locate the wood sheathing between the boards and nail them together in a triangular form. Install this girder under the joists in proper way. New girder will sit on one side of the basement wall and on the other side of the brick chimney. There should be no gap between the upper part of the girder and lower part of the joists, All gaps should be filled properly with wood shims.

4. In case HVAC ducts prevent installing girder, provide 2"x4" wood studs and install under the existing 2"x4" wood girder where the ghost silhouettes are, or install studs in a 24" o.c. increment.

4220 FEATURE: Int Ceiling Surface/Cover	MATL/TYPE: Plaster/Stucco	FEA LOC: Ceiling Surface	
UNIT: 0001	DEF QTY: 50.000 UM: SF		\$ 776
CMP/TYPE: Feature General	COND: N/A HIST RATE: H		0
MOD:	SOURCE: Others		150
PRIORITY: Critical			=====
			\$ 926

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

1. Damaged plaster in the 2nd floor corridor ceiling due to the HVAC overflow pan.

RECOMMENDATION:

1. Provide protection against the spread of dust and debris and water at or beyond the area by suitable enclosures of sheeting and tarpaulins.

2. Provide masking or covering on adjacent surfaces and permanent equipment ; secure coverings without the

WORK RECOMMENDATIONS REPORT

use of adhesive type tape or nails.

3. Remove all of the damaged plasters and key plaster.
4. Clean all of the wood lath and remove all of the old plaster infill between the wood lath.
5. Apply plaster over the damaged area and level it with the existing surface.
6. Quality of the new plaster should match with the existing.
7. Sand and spackel the repaired area and prepare it for paint.

4273 FEATURE: Int Stair/Ramp Railing
UNIT: 0001
CMP/TYPE: Feature General
MOD:
PRIORITY: Critical

MATL/TYPE: Wood
DEF QTY: 32.000 UM: SF
COND: N/A HIST RATE: H
SOURCE: Others

FEA LOC: Interior Stair/ramp Rai
\$ 234
0
64
=====

\$ 298

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

There is a grassy area between the handicap lift ramp and the concrete side walk. This separates the connection of the sidewalk from the handicap ramp and does not meet accessibility code requirement for disable people.

RECOMMENDATION:

1. Remove the grass from the area between the handicap lift ramp and the concrete sidewalk.
2. Prepare concrete and fill the area with concrete to meet accessibility standards for disable people, match the size, quality and texture of the surface with code requirement.

4310 FEATURE: Roof Surface/Cover
UNIT: 0001
CMP/TYPE: Feature General
MOD:
PRIORITY: Critical

MATL/TYPE: Asphalt-Shingle
DEF QTY: 40.000 UM: SF
COND: N/A HIST RATE: N
SOURCE: Others

FEA LOC: Roof covering
\$ 1320
0
200
=====

\$ 1520

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

1. Damaged and broken fiber cement shingle on the left side of the middle dormer in the south part and the other parts of the roof.
2. Temporarily covered damaged area in the left part of the middle dormer in the south with sheet metal. Sheet metal cover has not been installed properly and that caused rainwater to penetrate to the roof and eventually to the ceiling of the first floor.

RECOMMENDATION:

1. Replace all of the damaged fiber cement shingles with new, match the size, shape and color with the existing. For the removal of the damaged shingles and installation of the new shingles follow the Supradur application instruction.
2. Remove all of the temporary sheet metal from the area adjacent to the middle dormer in the south.
3. Repair the damaged sheathing in proper way.

WORK RECOMMENDATIONS REPORT

4. Install copper flashing in the area dormer wall meet the roof.

5. Cover the area with cementation shingle. For the installation follow the Manufacturer's guidelines for the installation.

4340 FEATURE: Roof Flashing	MATL/TYPE: Lead Coated Copper	FEA LOC: Roof Flashing	
UNIT: 0001	DEF QTY: 24.000 UM: LF		\$ 274
CMP/TYPE: Feature General	COND: N/A HIST RATE: T		0
MOD:	SOURCE: Means/Other		48
PRIORITY: Critical			=====
			\$ 322

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

Some of the existing copper flashing on the dormer sills in the north part of the main building are not installed in a proper way. This has caused the rainwater to penetrate under the metal flashing through the roof and finally through the ceiling above the north entrance door.

RECOMMENDATION:

1. Remove the existing flashing from the area under the sill of the dormer in the north section of the main building.

2. Provide copper flashing with copper nails and install around the dormer sill in proper way. This flashing should be installed in a way that prevents penetration of the rain water from under the sill of the dormers (see detail C in the appendix

4351 FEATURE: Gutter/Downspout	MATL/TYPE: Copper	FEA LOC: Gutter/Downspout	
UNIT: 0001	DEF QTY: 160.000 UM: LF		\$ 234
CMP/TYPE: Feature General	COND: N/A HIST RATE: T		0
MOD:	SOURCE: Others		72
PRIORITY: Critical			=====
			\$ 306

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

1. Downspouts drain directly at the foundation of the structure and this causes problem for the settlement of the brick piers and basement flooding.

RECOMMENDATION:

Provide French drainage pipe and attache to each downspout to drain the rainwater at least 10' away from the building to prevent settlement and flood problem.

4140 FEATURE: Ext Window Unit	MATL/TYPE: Wood	FEA LOC: Exterior Window	
UNIT: 0001	DEF QTY: 2.000 UM: EA		\$ 390
CMP/TYPE: Feature General	COND: N/A HIST RATE: H		0
MOD:	SOURCE: Means/Other		236
PRIORITY: Serious			=====
			\$ 626

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

WORK RECOMMENDATIONS REPORT

Originally the basement had windows and they have been removed and the openings are filled with brick (see photo in the photo section).

RECOMMENDATION:

1. Research to find if the original basement windows have been stored.
2. Reopen the existing window openings in the basement wall.
3. If the original windows are available install them in proper way, otherwise provide replica windows for the openings and install, match the size, and shape with the original (see photo of the window in the photo section).

4210 FEATURE: Int Wall Surface/Cover	MATL/TYPE: Plaster/Stucco	FEA LOC: Wall Surface	
UNIT: 0001	DEF QTY: 295.000 UM: SF		\$ 1266
CMP/TYPE: Feature General	COND: N/A HIST RATE: H		0
MOD:	SOURCE: Others		325
PRIORITY: Serious			=====
			\$ 1591

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

1. Bathroom walls in the bedroom in the 2nd floor need to be sanded and spackled.
2. Damaged wall surface in the class room lobby under the window. This was caused by the penetration of rainwater from gutter overflow on the window sill and in the wall.
3. Damaged surface of the concrete walls in the basement.

RECOMMENDATION:

1. Sand and spackle the bathroom wall and prepare it for painting. The bathroom located on the 2nd floor in the bedroom.
2. Clean the gutter around the classroom lobby.
3. Properly seal the window sill with sealant to protect the penetration of the rainwater.
4. Sand and spackle the damaged surface of the wall in the classroom lobby.
5. Clean all of the dust and powdered cement on the damaged area in the basement walls.
6. Gently bathe the damaged area.
7. Patch all of the damaged area with fine concrete and level with the existing. Color of the concrete should match with the existing color of the basement concrete wall.

4221 FEATURE: Int Ceiling Structure	MATL/TYPE: Wood	FEA LOC: Ceiling Structure	
UNIT: 0001	DEF QTY: 90.000 UM: SF		\$ 1723
CMP/TYPE: Feature General	COND: N/A HIST RATE: H		0
MOD:	SOURCE: Others		158
PRIORITY: Serious			=====
			\$ 1881

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

WORK RECOMMENDATIONS REPORT

1. Termite damaged joists and girders in the basement ceiling in the north part of the brick chimney. Girders consist of the 2- 2"x10" wood attached to each other (2 ea.) and 3 single joists each 10 feet long.

RECOMMENDATION:

1. Provide support under the basement ceiling around the area joists and girders that are damaged.
2. Replace damaged girders and joists with new in proper way, match the size, and the quality of the wood with existing.
3. After replacement of the new joists and girders and proper consolidation, remove supports from the repair area.

4260 FEATURE: Interior Finish
UNIT: 0001
CMP/TYPE: Feature General
MOD:
PRIORITY: Serious

MATL/TYPE: Paint-Latex
DEF QTY: 1638.000 UM: SF
COND: N/A HIST RATE: H
SOURCE: Means

FEA LOC: Interior Finish
\$ 786
0
197
=====

\$ 983

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

1. Dirty and damaged paint on the walls, doors, window, stair and stair railing in the basement lobby area and the bathroom.
2. Bathroom walls in the bedroom on the 2nd floor do not have paint due to the wall and ceiling repair.
3. Damaged paint in the ceiling of the 2nd floor corridor.
4. Damaged paint on the wall in the classroom lobby under the north window.
5. Damaged paint on the ceiling of the exhibits archeology room above the south windows due to penetration of the rainwater from the roof.

RECOMMENDATION:

1. Provide a paint analysis to find the original color of the walls, doors, window, stairs, and stair railing. Due to the lack of paint analysis for the main house, it would be appropriate to have paint analysis for the entire interior part of the house. This includes finding the original paint on the walls, ceilings, doors, windows, wainscots, wood panels in the corridors, fireplaces, dormers and stairs.
2. Clean all walls, ceilings, doors, window, stairs, and stair railing in the basement lobby and bathroom area and prepare them for painting.
3. Clean all damaged surfaces in the classroom loby, exhibit archeology room ceiling, 2nd floor corridor ceiling, and the bathroom in the 2nd floor bedroom.
4. Paint all of the spaces and surfaces mentioned in the item 3, match the color of the paint and texture of the walls, and ceiling with original.

4213 FEATURE: Int Wall Trim
UNIT: 0001
CMP/TYPE: Feature General
MOD:
PRIORITY: Minor

MATL/TYPE: Wood
DEF QTY: 11.000 UM: LF
COND: N/A HIST RATE: H
SOURCE: others

FEA LOC: Wall Trim
\$ 117
0
11
=====

\$ 128

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

WORK RECOMMENDATIONS REPORT

Damaged wood corner trim in the south bedroom on the 2nd floor.

RECOMMENDATION:

Provide corner wood trim and install in the corner of the wall and ceiling in the bedroom on the 2nd floor, match the size and shape of the wood trim with the existing.

4218 FEATURE: Int Fireplace	MATL/TYPE: Brick	FEA LOC: Fireplace	
UNIT: 0001	DEF QTY: 9.000 UM: LF		\$ 59
CMP/TYPE: Feature General	COND: N/A HIST RATE: H		0
MOD:	SOURCE: Others		11
PRIORITY: Minor			=====
			\$ 70

INSPECTED BY: Ali A. Miri

CODE VIOLATIONS:

INSP DATE: 07/18/1997

DEFICIENCY:

Missing wood trim around the fireplace in the exhibit archeology room.

RECOMMENDATION:

Provide wood trim and install in area of the fireplace that is missing. Match, the size, shape, color, and quality of the trim with the original (see photo of the fireplace).

NET SUBTOTAL CRITICAL: \$	8089
NET SUBTOTAL SERIOUS: \$	5081
NET SUBTOTAL MINOR: \$	198
NET SUBTOTAL UNKNOWN: \$	0
=====	
NET GRAND TOTAL ASSET: \$	13368

-- INSPECTION TEAM INFORMATION -----

INSPECTED BY:

Firm Name: National Park Service/SESO

Address: Atlanta Federal Center

1924 Building

City: Atlanta

Area Insp: Historic Preservation/ Architecture

Insp Proc:

Name: Ali A. Miri

Title: Historical Architect

Contr #:

State: GA ZIP: 30303-

-- REPORT PARAMETERS -----

DISTRICT ORGCODE: 5440

FILTERS: Park ID = "CHPI"

-- FEATURE SUMMARY -----

MM CODE	FEATURE SHORT NAME	MATERIAL/TYPE	MEAS UNIT	TOTAL QUANTITY	CONDITION QUANTITIES		
					GOOD	FAIR	POOR
5440 - CHARLES PINCKNEY NATIONAL HISTORIC SITE							
Building							
4110	Ext Wall Surf	Wood-Clapboard	SF	4933.000*	0.000	0.000	0.000
4111	Ext Wall Struct	Wood-Frame	SF	4933.000*	0.000	0.000	0.000
4113	Ext Wall Trim	Wood	LF	112.000*	0.000	0.000	0.000
4115	Ext Column/Post	Unspecified	EA	10.000*	0.000	0.000	0.000
4116	Cornice	Wood	LF	303.000*	0.000	0.000	0.000
4120	Ext Clg Surface	Wood-Tongue & Groove	SF	588.000*	0.000	0.000	0.000
4121	Ext Clg Struct	Wood-Frame	SF	588.000*	0.000	0.000	0.000
4123	Ext Clg Trim	Wood	LF	74.000*	0.000	0.000	0.000
4130	Ext Floor Surf	Wood-Tongue & Groove	SF	623.000*	0.000	0.000	0.000
4131	Ext Floor Struc	Wood-Frame	SF	623.000*	0.000	0.000	0.000
4140	Ext Window Unit	Wood	EA	45.000*	0.000	0.000	0.000
4141	Ex Window Frame	Wood-Frame	EA	43.000*	0.000	0.000	0.000
4142	Ext Window Sash	Wood	EA	40.000*	0.000	0.000	0.000
4143	Ext Window Trim	Wood	LF	618.000*	0.000	0.000	0.000
4144	Ext Window Hard	Metal	EA	40.000*	0.000	0.000	0.000
4145	Ext Window Sill	Wood	EA	43.000*	0.000	0.000	0.000
4147	Ex Wdw Shut/Bli	Wood-Tongue & Groove	EA	34.000*	0.000	0.000	0.000
4148	Ext Wdw Lintel	Wood	EA	43.000*	0.000	0.000	0.000
4150	Ext Door Unit	Wood	EA	5.000*	0.000	0.000	0.000
4151	Ext Door Frame	Wood	EA	5.000*	0.000	0.000	0.000
4152	Ext Door	Wood	EA	5.000*	0.000	0.000	0.000
4153	Ext Door Trim	Wood	LF	74.000*	0.000	0.000	0.000
4154	Ext Door Hard	Metal-Other	EA	30.000*	0.000	0.000	0.000
4155	Ext Door Sill	Wood	EA	5.000*	0.000	0.000	0.000
4156	Ext Dr Strm/Scr	Wood-Other	EA	4.000*	0.000	0.000	0.000
4158	Ext Door Lintel	Wood	EA	5.000*	0.000	0.000	0.000
4160	Exterior Finish	Paint-Other	SF	6949.000*	0.000	0.000	0.000
4170	Ex Str/Rmp Surf	Sandstone	LF	35.000*	0.000	0.000	0.000
4171	Ex Str/Rmp Stru	Brick	EA	65.000*	0.000	0.000	0.000
4173	Ex Str/Rmp Rail	Brick	LF	18.000*	0.000	0.000	0.000
4210	Int Wall Surf	Plaster/Stucco	SF	8342.000*	0.000	0.000	0.000
4211	Int Wall Struc	Wood	SF	2013.000*	0.000	0.000	0.000
4213	Int Wall Trim	Wood	LF	1206.000*	0.000	0.000	0.000
4215	Int Column/Post	Wood	EA	1.000*	0.000	0.000	0.000
4218	Int Fireplace	Brick	EA	7.000*	0.000	0.000	0.000
4220	Int Clg Surface	Plaster/Stucco	SF	3460.000*	0.000	0.000	0.000
4221	Int Clg Struct	Wood	SF	2208.000*	0.000	0.000	0.000
4223	Int Clg Trim	Wood	LF	251.000*	0.000	0.000	0.000
4230	Int Flr Surface	Wood	SF	3661.000*	0.000	0.000	0.000
4231	Int Flr Struct	Wood	SF	4022.000*	0.000	0.000	0.000
4232	Int Flr Decking	Wood	SF	2314.000*	0.000	0.000	0.000
4233	In Rail/Balustr	Wood	LF	47.000*	0.000	0.000	0.000
4243	Int Window Trim	Wood	LF	550.000*	0.000	0.000	0.000
4250	Int Door Unit	Wood	EA	25.000*	0.000	0.000	0.000
4251	Int Door Frame	Wood	EA	25.000*	0.000	0.000	0.000
4253	Int Door Trim	Wood	LF	820.000*	0.000	0.000	0.000
4254	Int Door Hard	Metal	EA	93.000*	0.000	0.000	0.000
4260	Interior Finish	Paint-Latex	SF	11078.000*	0.000	0.000	0.000
4270	In Str/Rmp Surf	Wood	EA	2.000*	0.000	0.000	0.000
4271	In Str/Rmp Stru	Wood	EA	2.000*	0.000	0.000	0.000

*** after Total Inventory indicates that Condition Assessments have not been entered for all occurrences of the specified feature.

FEATURE INVENTORY SUMMARY REPORT

--- R E P O R T P A R A M E T E R S ---

DISTRICT ORGCODE: 5440
 FILTERS: Park ID = "CHPI"

--- F E A T U R E S U M M A R Y ---

MM CODE	FEATURE SHORT NAME	MATERIAL/TYPE	MEAS UNIT	TOTAL QUANTITY	CONDITION QUANTITIES		
					GOOD	FAIR	POOR
4273	In Str/Rmp Rail	Wood	LF	47.000*	0.000	0.000	0.000
4281	Wall Insulation	Loosefill Insulation	SF	4933.000*	0.000	0.000	0.000
4283	Flr Insulation	Batt Insulation	SF	3562.000*	0.000	0.000	0.000
4284	Roof Insulation	Insulation-Other	SF	4361.000*	0.000	0.000	0.000
4310	Roof Surface	Asphalt-Shingle	SQ	44.000*	0.000	0.000	0.000
4311	Roof Structure	Wood	SF	4361.000*	0.000	0.000	0.000
4312	Roof Sheathing	Wood	SF	4361.000*	0.000	0.000	0.000
4322	Roof Vent	Other	EA	3.000*	0.000	0.000	0.000
4330	Chimney	Brick	EA	4.000*	0.000	0.000	0.000
4333	Chimney Cap	Copper	EA	4.000*	0.000	0.000	0.000
4340	Roof Flashing	Lead Coated Copper	LF	68.000*	0.000	0.000	0.000
4351	Gutter/Downspou	Copper	LF	390.000*	0.000	0.000	0.000
4410	Found Wall Surf	Concrete	SF	715.000*	0.000	0.000	0.000
4411	Found Wall Stru	Concrete	SF	613.000*	0.000	0.000	0.000
4413	Foundation Vent	Unspecified	EA	27.000*	0.000	0.000	0.000
4420	Pier	Brick	EA	46.000*	0.000	0.000	0.000
4514	Range	Not Applicable	EA	1.000*	0.000	0.000	0.000
4522	Kitchen Cabinet	Wood	EA	24.000*	0.000	0.000	0.000

*** after Total Inventory indicates that Condition Assessments have not been entered
 for all occurrences of the specified feature.

FEATURE CONDITION SUMMARY REPORT

-- REPORT PARAMETERS -----

FILTERS: Park ID = "CHPI"

-- INSPECTION SUMMARY -----

MM CODE	FEATURE	TOTAL QTY	UM	GOOD	QUANTITY		PERCENT		
					FAIR	POOR	GOOD	FAIR	POOR
4100	EXTERIOR								
4110	Ext Wall Surface/Cover	4933.000	SF	0.000	0.000	0.000	0%	0%	0%
4111	Ext Wall Structure	4933.000	SF	0.000	0.000	0.000	0%	0%	0%
4113	Ext Wall Trim	112.000	LF	0.000	0.000	0.000	0%	0%	0%
4115	Ext Column/Post	10.000	EA	0.000	0.000	0.000	0%	0%	0%
4116	Cornice	303.000	SF	0.000	0.000	0.000	0%	0%	0%
4120	Ext Ceiling Surface/Cover	588.000	SF	0.000	0.000	0.000	0%	0%	0%
4121	Ext Ceiling Structure	588.000	SF	0.000	0.000	0.000	0%	0%	0%
4123	Ext Ceiling Trim	74.000	LF	0.000	0.000	0.000	0%	0%	0%
4130	Ext Floor Surface/Cover	623.000	SF	0.000	0.000	0.000	0%	0%	0%
4131	Ext Floor Structure	623.000	SF	0.000	0.000	0.000	0%	0%	0%
4140	Ext Window Unit	45.000	EA	0.000	0.000	0.000	0%	0%	0%
4141	Ext Window Frame	43.000	EA	0.000	0.000	0.000	0%	0%	0%
4142	Ext Window Sash	40.000	EA	0.000	0.000	0.000	0%	0%	0%
4143	Ext Window Trim	618.000	LF	0.000	0.000	0.000	0%	0%	0%
4144	Ext Window Hardware	40.000	EA	0.000	0.000	0.000	0%	0%	0%
4145	Ext Window Sill	43.000	EA	0.000	0.000	0.000	0%	0%	0%
4147	Ext Window Shutter/Blind	34.000	EA	0.000	0.000	0.000	0%	0%	0%
4148	Ext Window Lintel	43.000	EA	0.000	0.000	0.000	0%	0%	0%
4150	Ext Door Unit	5.000	EA	0.000	0.000	0.000	0%	0%	0%
4151	Ext Door Frame	5.000	EA	0.000	0.000	0.000	0%	0%	0%
4152	Ext Door	5.000	EA	0.000	0.000	0.000	0%	0%	0%
4153	Ext Door Trim	74.000	LF	0.000	0.000	0.000	0%	0%	0%
4154	Ext Door Hardware	30.000	EA	0.000	0.000	0.000	0%	0%	0%
4155	Ext Door Sill/Threshold	5.000	EA	0.000	0.000	0.000	0%	0%	0%
4156	Ext Door Storm/Screen	4.000	EA	0.000	0.000	0.000	0%	0%	0%
4158	Ext Door Lintel	5.000	EA	0.000	0.000	0.000	0%	0%	0%
4160	Exterior Finish	6949.000	SF	0.000	0.000	0.000	0%	0%	0%
4170	Ext Stair/Ramp Surf/Cover	35.000	LF	0.000	0.000	0.000	0%	0%	0%
4171	Ext Stair/Ramp Structure	65.000	EA	0.000	0.000	0.000	0%	0%	0%
4173	Ext Stair/Ramp Railing	18.000	LF	0.000	0.000	0.000	0%	0%	0%
4200	INTERIOR								
4210	Int Wall Surface/Cover	8342.000	SF	0.000	0.000	0.000	0%	0%	0%
4211	Int Wall Structure	2013.000	SF	0.000	0.000	0.000	0%	0%	0%
4213	Int Wall Trim	1206.000	LF	0.000	0.000	0.000	0%	0%	0%
4215	Int Column/Post	1.000	EA	0.000	0.000	0.000	0%	0%	0%
4218	Int Fireplace	7.000	EA	0.000	0.000	0.000	0%	0%	0%
4220	Int Ceiling Surface/Cover	3460.000	SF	0.000	0.000	0.000	0%	0%	0%
4221	Int Ceiling Structure	2208.000	SF	0.000	0.000	0.000	0%	0%	0%
4223	Int Ceiling Trim	251.000	LF	0.000	0.000	0.000	0%	0%	0%
4230	Int Floor Surface/Cover	3661.000	SF	0.000	0.000	0.000	0%	0%	0%
4231	Int Floor Structure	4022.000	SF	0.000	0.000	0.000	0%	0%	0%
4232	Int Floor Decking	2314.000	SF	0.000	0.000	0.000	0%	0%	0%
4233	Int Railing/Balustrade	47.000	LF	0.000	0.000	0.000	0%	0%	0%
4243	Int Window Trim	550.000	LF	0.000	0.000	0.000	0%	0%	0%
4250	Int Door Unit	25.000	EA	0.000	0.000	0.000	0%	0%	0%
4251	Int Door Frame	25.000	EA	0.000	0.000	0.000	0%	0%	0%
4253	Int Door Trim	820.000	LF	0.000	0.000	0.000	0%	0%	0%
4254	Int Door Hardware	93.000	EA	0.000	0.000	0.000	0%	0%	0%
4260	Interior Finish	11078.000	SF	0.000	0.000	0.000	0%	0%	0%
4270	Int Stair/Ramp Surf/Cover	2.000	EA	0.000	0.000	0.000	0%	0%	0%
4271	Int Stair/Ramp Struct	2.000	EA	0.000	0.000	0.000	0%	0%	0%
4273	Int Stair/Ramp Railing	47.000	LF	0.000	0.000	0.000	0%	0%	0%

FEATURE CONDITION SUMMARY REPORT

-- R E P O R T P A R A M E T E R S -----

FILTERS: Park ID = "CHPI"

-- I N S P E C T I O N S U M M A R Y -----

MM CODE	FEATURE	TOTAL QTY	UM	QUANTITY			PERCENT		
				GOOD	FAIR	POOR	GOOD	FAIR	POOR
4281	Wall Insulation	4933.000	SF	0.000	0.000	0.000	0%	0%	0%
4283	Floor Insulation	3562.000	SF	0.000	0.000	0.000	0%	0%	0%
4284	Roof Insulation	4361.000	SF	0.000	0.000	0.000	0%	0%	0%
4300	ROOF								
4310	Roof Surface/Cover	44.000	SQ	0.000	0.000	0.000	0%	0%	0%
4311	Roof Structure	4361.000	SF	0.000	0.000	0.000	0%	0%	0%
4312	Roof Sheathing	4361.000	SF	0.000	0.000	0.000	0%	0%	0%
4322	Roof Vent	3.000	EA	0.000	0.000	0.000	0%	0%	0%
4330	Chimney	4.000	EA	0.000	0.000	0.000	0%	0%	0%
4333	Chimney Cap	4.000	EA	0.000	0.000	0.000	0%	0%	0%
4340	Roof Flashing	68.000	LF	0.000	0.000	0.000	0%	0%	0%
4351	Gutter/Downspout	390.000	LF	0.000	0.000	0.000	0%	0%	0%
4400	FOUNDATION								
4410	Foundation Wall Surf/Cov	715.000	SF	0.000	0.000	0.000	0%	0%	0%
4411	Foundation Wall Struct	613.000	SF	0.000	0.000	0.000	0%	0%	0%
4413	Foundation Vent	27.000	EA	0.000	0.000	0.000	0%	0%	0%
4420	Pier	46.000	EA	0.000	0.000	0.000	0%	0%	0%
4500	FURNISHINGS								
4514	Range	1.000	EA	0.000	0.000	0.000	0%	0%	0%
4522	Kitchen Cabinet	24.000	EA	0.000	0.000	0.000	0%	0%	0%

SOUTHEAST AREA

ATLANTIC COAST

CHARLES PINCKNEY NATIONAL HISTORIC SITE

08/12/97 15:31:10

Park General

MAJOR ASSESSMENT ASSET DEFICIENCY

-- REPORT PARAMETERS -----

DISTRICT ORGCODE: 5440

ASSET TYPE: Building

FILTER: Park ID = "CHPI"

-- ASSET DEFICIENCIES -----

ICAP ID NO	ASSET NAME	MGMT CAT	TOTAL AMOUNT	DEFICIENCY CRITICAL	PRIORITY SERIOUS	MINOR
5440 - CHARLES PINCKNEY NATIONAL HISTORIC SITE						
BUILDING						
5440-H-1	-BU Charles Pinckney	B	\$ 13368	\$ 8089	\$ 5081	\$ 198
			=====	=====	=====	=====
SUBTOTAL MANAGEMENT CATEGORY A:			\$ 0	\$ 0	\$ 0	\$ 0
SUBTOTAL MANAGEMENT CATEGORY B:			\$ 13368	\$ 8089	\$ 5081	\$ 198
SUBTOTAL MANAGEMENT CATEGORY C:			\$ 0	\$ 0	\$ 0	\$ 0
SUBTOTAL MANAGEMENT CATEGORY D:			\$ 0	\$ 0	\$ 0	\$ 0
SUBTOTAL MANAGEMENT CATEGORY ?:			\$ 0	\$ 0	\$ 0	\$ 0
BUILDING		TOTAL:	\$ 13368	\$ 8089	\$ 5081	\$ 198
			=====	=====	=====	=====
CHPI-5440-CHARLES PINCKNEY NATIONAL HISTORIC SITE TOTAL:			\$ 13368	\$ 8089	\$ 5081	\$ 198
GRAND TOTAL:			\$ 13368	\$ 8089	\$ 5081	\$ 198

* -- Indicates asset contains Major Assessments without an assigned priority

APPENDIX "A"

LIST OF CLASSIFIED STRUCTURES (LCS)
SINGLE ENTRY REPORT
Continued

IDLCS Park Structure Name Number
90151 CHPI Snee Farm Main House *not yet approved* H-1

Management Information

NPS Legal Interest: FEE
Life:

Exp. Date: / /

Federal Owner:
Local Owner:

Management Category: SHOULD BE PRES. & MAINT Management Date: 00/00/93
Management Agreement: NONE Agrmt. Exp. Date: / /

Proposed Ultimate Treat: NO TREATMENT
Approved Ultimate Treat:

Doc: NONE
Doc:

Date: / /
Date: / /

Treatment Responsibilities

Treatment Costs

Interim Treatment: NPS
Ultimate Treatment: NPS
Routine Maintenance: NPS Level of Estimate:
Cyclic Maintenance: NPS Estimator:

Interim: \$0 Date: /
Ultimate: \$0 Date: /

Approved Ultimate Treatment Completed: NO

Management Text

The park's proposed GMP calls for rehabilitation of the main house for the provision of visitor services and the location of a contact station.

Major Bibliographical References

Nat. Reg.: 73001702

CSI: CHPI00001.01

Nat. Cat: NO

HABS: SC-87
HAER:

BRIDGES:
DAMS:
QTRS:

CLI

CRBIB

Other

1. HRS 1.
2. HS ASSESS 2.
3. HSR 3.
4. CLR 4.
5. 5.

1. HABS, 1940
2.
3.
4.

Documentation Level: GOOD

Date Entered/Updated: 08/26/93

Logger: LCS

Date of Report: 08/22/96

Context B: The Lowcountry Coastal Cottage and Snee Farm,
 circa 1828-1944

During the first third of the nineteenth century, the Coastal Cottage became the favored house type among the elite lowcountry planters of South Carolina. Unlike the impressive brick piles constructed a century earlier, such as Fenwick Hall and Drayton Hall, Coastal Cottages are smaller frame structures.⁴⁷ The main house at Snee Farm is a typical Coastal Cottage. Constructed circa 1828, the one-and-one-half-story main house is rectangular-shaped with a side-gable roof, full-width front porch, and brick pier foundation. The interior features elaborate molding, paneling, and other decorative details.⁴⁸

Coastal Cottages were constructed throughout the South Carolina lowcountry, from Port Royal Sound to the Pee Dee River. Retreat, built circa 1754 in Beaufort County, is among the earliest known examples.⁴⁹ Master builders and joiners, who worked from pattern books, constructed most Coastal Cottages during the first three decades of the nineteenth century. Although the planter may have participated in the design, few professionally trained architects have been connected with these houses.⁵⁰

Architectural elements common to Coastal Cottages include the rectangular shape, side-gable roof, full-width front porch, brick pier foundation, and Georgian plan. Facades are comprised of three or five bays with a central entrance. Additionally, these

⁴⁷William P. Baldwin, Jr., *Plantations of the Low Country* (Greensboro, NC: Legacy Publications, 1985), 33-39, 45-46.

⁴⁸Baldwin, Jr., 45-46.

⁴⁹*Historic Resources of the Lowcountry* (Yemassee, SC: Lowcountry Council of Governments, 1979), 63.

⁵⁰Baldwin, Jr., 10.

planters' houses were often clad in weatherboard and included interior chimneys placed along the ridgeline.⁵¹

Floor plans for the Coastal Cottages were based on the Georgian plan, which appeared in America in the early eighteenth century. The typical Coastal Cottage consisted of four heated rooms and a central passage. Coastal Cottages, such as the Perry-Smoak House constructed in Colleton County circa 1814, featured two central entrances that open directly on to the parlor and dining room, eliminating the central passage.⁵² The Grove, built in Charleston County circa 1828, fuses a traditional Georgian plan with two elliptical-shaped front rooms.⁵³ Unusual room shapes, particularly shapes based on the circle or ellipse, were fashionable during the Federal period, 1789 to circa 1830. The second floor of most Coastal Cottages, typically a half story, contained bedrooms.

Decorative details reflect the neoclassical style of design that was popular at the beginning of the nineteenth century. Elliptical fanlights or transoms and side lights often framed entrances. Interiors were finished with elaborate woodwork such as keyed arches dividing the entrance hall and stair hall. Paneled wainscoting and finely molded window and door surrounds decorated public rooms. Walls and ceilings were accented with crown and cornice moldings and plaster medallions. Fireplaces were the focal points of the public rooms and feature some of the

⁵¹See *Historic Resources of the Lowcountry*, 63, 95-97, 114; Baldwin, Jr., 45-46, 62-63, 99, 114.

⁵²*Historic Resources of the Lowcountry*, 96.

⁵³Samuel Guillard Stoney, *Plantations of the Lowcountry* (Charleston: Carolina Art Association, 1938), 80, 223; Baldwin, Jr., 113-14.

most costly ornamentation associated with Coastal Cottages.⁵⁴ Dean Hall, built in Berkeley County in 1827, features complex cornice moldings, ceilings medallions, and a stone mantelpiece with slender columns and decorative a panel frieze.⁵⁵

Planters resided at their plantation houses during the spring and fall, avoiding the summer fever season and participating in the winter social season in Charleston. There, the lowcountry elite maintained their principal residences. These larger and more sumptuously decorated houses served as backdrops for much of the season's entertaining.⁵⁶

The fashionably decorated public rooms common to Coastal Cottages, however, indicates that these houses were also designed to receive guests and formally entertain. The lack of inns in coastal South Carolina and the tradition of hospitality extended to travelers also suggests that these houses served to accommodate visitors. Snee Farm, located in close proximity to Charleston, is likely to have hosted numerous visitors.

The planter's house was one component of a large agricultural complex that sometimes featured scores of structures. Outbuildings such as kitchens, smokehouses, dairies, privies, and slave quarters served the needs of everyday plantation life. Many specialized structures were devoted entirely to the cultivation of rice and indigo, which had become the predominant crops in the South Carolina lowcountry by the mid-eighteenth

⁵⁴See *Historic Resources of the Lowcountry*, 63, 95-97, 114; Baldwin, Jr., 45-46, 62-63, 99, 114.

⁵⁵Baldwin, Jr., 62-63.

⁵⁶Roger G. Kennedy, *Architecture, Men, Women and Money in the New World, 1600-1860* (New York: Random House, 1985), 45-46; Rogers, 82.

century. These outbuildings included indigo processing structures, rice barns, rice mills, and winnowing houses.⁵⁷

The placement of outbuildings varied considerably among southern plantations. Secondary structures, especially slave quarters, were placed subordinate to the main house and often arranged in geometric configurations. Linear ensembles, structures organized along an avenue, and nodal ensembles, large clusters of buildings, were among the most common arrangements.⁵⁸

Historic Resources of Snee Farm

The main house at Snee Farm was probably built circa 1828 by William Mathews, a lowcountry planter.⁵⁹ Mathews's ventures proved extremely successful. By 1848, he owned five plantations including 352 slaves, various tracts of land, and maintained a principal residence in Charleston.⁶⁰ The main house at Snee Farm is the only extant resource that dates to Mathews' period of ownership, which began in 1828 and ended when Mathews left the property to his daughter in 1848.

⁵⁷"Charles Pinckney National Historic Site: Historical Overview of Snee Farm and Christ Church Parish," Unpublished Draft (Atlanta, GA: National Park Service, Southeast Regional Office, 1993), 9-10, 12, 23-26.

⁵⁸John Michael Vlach, *Back of the Big House: The Architecture of Plantation Slavery* (Chapel Hill, NC: University of North Carolina Press, 1993), 183-94.

⁵⁹P. Buchanan, et, al., "Architectural Investigations at Snee Farm," *Friends of Snee Farm*, 1991, 7; "Historical Overview," 30. Style, method of construction, and other physical evidence support the circa 1828 date of construction. Additionally, Mathews purchased the estate for \$1,230 less than it cost the previous owner, Francis G. Deliesseline, suggesting that Mathews rather than Deliesseline built the existing house.

⁶⁰"Snee Farm," *Historic American Building Survey*, 1990, HABS No. SC-87, 9-10.

The previous owner of Snee Farm, Francis G. Deliesseline, purchased the property from the trustees of Charles Pinckney in 1817 and had the estate surveyed the following year. The plat indicates rice fields and ditches, farm roads, and a cruciform-shaped formal garden located north of what may be a house.⁶¹ Many of these same features are present in an 1841 Mathews survey. A long drive running north to south joins a house, located at the north end of the property, with a public road to the south, presently U.S. Route 17. A row of slave quarters is organized along an avenue perpendicular to the main drive. Several other structures and possibly a garden are located in the vicinity of the main house, the only nineteenth-century structure that remains at the Site (see Context A for archeological investigations at Snee Farm).⁶²

Like many Coastal Cottages in the region, the main house at Snee Farm is a one-and-one-half-story, five-bay structure with a Georgian plan (figure).⁶³ The side-gable roof features two interior chimneys along the ridgeline and an engaged full-width porch across the south facade.⁶⁴ The house is raised on brick piers and constructed with heavy timbers. It is clad with beveled wood siding.

The floor plan of the main block features four rooms off a center stair hall. The stair is set along the east wall at the north

⁶¹South Carolina Department of Archives and History, Columbia, South Carolina, Plat No. 6017, 1841.

⁶²South Carolina Department of Archives and History, Columbia, South Carolina, Plat No. 6151, 1841.

⁶³See HABS No. SC-87 for complete building description and measured drawings.

⁶⁴The Site, which was originally entered from the south, is currently oriented to the north. The south elevation of the main house was designed as the main front and will herein be described as the front of the house.

end of the hall. The front parlors, the southeast and southwest rooms, have doorways that open onto the hall opposite each other and fireplaces in the center of the north wall. The smaller, rear northeast and northwest rooms also open onto the hall and are heated with fireplaces. The second-floor plan follows the layout of the first floor with a center hall illuminated by dormers. Each of the four rooms is lit by a dormer and a gable-end window. Only the southeast and southwest rooms feature fireplaces. The northwest room has been converted to a bathroom.

First-story windows of the main block are nine-over-nine double-hung sashes with molded surrounds and wood shutters. The three gable-roof dormers on the north and south elevations feature six-over-six double-hung sashes with plain surrounds and molded pediments. The main entrance consists of a six-panel wood door, a four-light transom, and molded surround. The corresponding door on the north side is similar but narrower with a three-light transom.

Interior woodwork dates to the construction of the house and remains largely intact. Each room includes unpainted wainscoting. In addition, first-floor rooms are finished with chair rails and cornice moldings. A keyed arch bisects the stair hall and features molded pilasters and a reeded underside. The mantelpieces in the southeast and southwest parlors are the most elaborate of the six mantelpieces in the main block. These appear to be hand-carved and feature pilasters, center panel friezes, and endblocks.

Currently, the Site reflects several periods of twentieth-century ownership. In 1936, after a succession of owners, Thomas Ewing purchased Snee Farm. The property contained numerous outbuildings and most of the original 715-acre tract, which Ewing continued to cultivate. That same year, Ewing enlarged the main

house and erected a frame cottage to serve as a library. Later residents built a large barn at the north end of the Site between 1944 and 1945.⁶⁵ In addition to the cottage and barn, a corn crib, probably built between 1900 and 1936, is located just south of the barn. These structures represent a continuity in the land-use patterns at Snee Farm. Several outbuildings are currently located in the vicinity of the main house, an arrangement similar to the nineteenth-century configuration of Snee Farm. The 1841 plat of Snee Farm indicates land in cultivation and clusters of outbuildings near the main house.⁶⁶ Although agriculture is no longer practiced at Snee Farm, the group of outbuildings at the Site provides an important link with the landscape of a nineteenth-century lowcountry rice plantation.

The architectural firm Beers and Farley designed the additions to the main house, which were built between 1936 and 1941. The additions are in the form of gable-front dependencies joined to a porch on the north side of the house by small hyphens. The northwest wing contains the kitchen, pantry, and laundry room. The northeast wing includes a bedroom, dressing room, and two bathrooms. The entire arrangement is symmetrical, and construction materials match those of the main block.

Thomas Ewing also built a library, now referred to as the caretaker's cottage, located northwest of the house along the entrance drive from Long Point Road. The cottage, also designed by Beers and Farley, is a small, one-story frame building with two chimneys, and a screened front porch. Thomas Stone, Thomas Ewing's son-in-law, received the property in 1943 and erected the

⁶⁵Oscar D. Hamlin, interview by Michael Allen, Ann Childress, and Don Pendot, Mount Pleasant, South Carolina, September 25, 1993.

⁶⁶Plat No. 6151.

barn. Located west of the caretaker's cottage, the barn is a large, center-aisle, seven-bay frame structure with a cross-gable roof and cupola. The corn crib, located south of the barn, was probably built during the Thomas J. Hamlin period of ownership, 1900-1936. It is a frame structure with vented side walls and board-and-batten-gable ends.⁶⁷

Significance

The main house at Snee Farm is significant at the state level under Criterion C as a representative example of a lowcountry Coastal Cottage. South Carolina's gentry built Coastal Cottages on plantations throughout the lowcountry in the first decades of the nineteenth century. Architectural features found at the main house at Snee Farm such as the side-gable roof, full-width front porch, Georgian plan, and neoclassical ornamentation, are characteristic of Coastal Cottages throughout the region.

The caretaker's cottage, barn, and corn crib contribute to the significance of the Site, representing a continuity of land-use patterns at Snee Farm. Currently, several outbuildings are currently located in the vicinity of the main house, an arrangement similar to the nineteenth-century configuration of Snee Farm. Although agriculture is no longer practiced at Snee Farm, the group of outbuildings at the Site establishes an important link with the landscape of a nineteenth-century lowcountry rice plantation. Additionally, the outbuildings provide an appropriate setting for the lowcountry Coastal Cottage at Snee Farm.

Integrity of Historic Resources

The main house at Snee Farm retains most elements of historic integrity. Location, materials, and workmanship have not been altered since the house was completed circa 1828, and the

⁶⁷"Historical Overview," 40-41; HABS No. SC-87, 20.

building invokes feelings and associations appropriate to a nineteenth-century Coastal Cottage. The setting is partially rural with only remnants of an agricultural landscape intact. A subdivision of houses recently constructed south of the Site is the most significant disruption of the historic scene. The design, which was altered with the addition of two rear wings, retains the distinctive qualities that define a lowcountry Coastal Cottage. The additions are set back from the south facade, minimizing their visual impact on the front and sides of the house.

The caretaker's cottage, barn, and corn crib retain most elements of historic integrity. Location and setting have not been altered since the structures were completed. Materials, design, and workmanship are largely intact, although the barn is undergoing an interior rehabilitation and the caretaker's cottage has suffered from both vandalism and neglect. The three structures invoke feelings and associations appropriate for a 1930s and 1940s estate and provide an appropriate setting for the main house.

APPENDIX "B"

Rene Gote

APR 14 1992

H30(424)

Memorandum

To: Associate Director, Cultural Resources

From: Chief, Preservation Assistance Division

Subject: Snee Farm; Trip Report.

On April 8, I visited Snee Farm to assess the integrity of the structure as an early 19th century vernacular plantation house. While at the site I met with the superintendent, John Tucker and Bennie Keel. As a basis for this assessment, I used the report prepared by the architectural historians for the Friends of Snee Farm.

The house at Snee Farm has a surprisingly high degree of integrity considering its use and the additions that have been added to it in this century. Two questions in specific were raised in the architectural historians' report; (1) regarding the dating of the exterior clapboarding and (2) the date of the window sash. I previously had taken x-rays of individual elements of both these items during a visit in June 1990. These x-rays revealed the type of nails used to fasten the clapboards on the front porch and the construction, including later hardware additions, of the window sash. The type of nail fastening the clapboards in the x-ray is consistent with the nails used elsewhere in the house, machine-cut and headed with a round point, dating to an 1820-1835 period. Visually, judging by the machine-made head seen on the surface of the clapboards on the 19th century portion of the building (the paint has been removed making this visually easier) and from paint samples removed by the NACRC/BCB, most of these boards are original. Those on the front porch are in excellent condition as are most of the others. Clapboards of the same dimension and appearance as the originals were incorporated into the wings when they were built in 1936. However, these boards are fastened with a finish-type cut nail that has little head exposed. On the right or west side of the back porch, on the original portion of the house, there are clapboards held with this modern-type of cut nail as well as some boards fastened with wire nails. This occurs in an area of the wall where originally there was a door opening. This opening was relocated and a window installed at the time the wings were constructed, which accounts for the use of the modern cut nails.

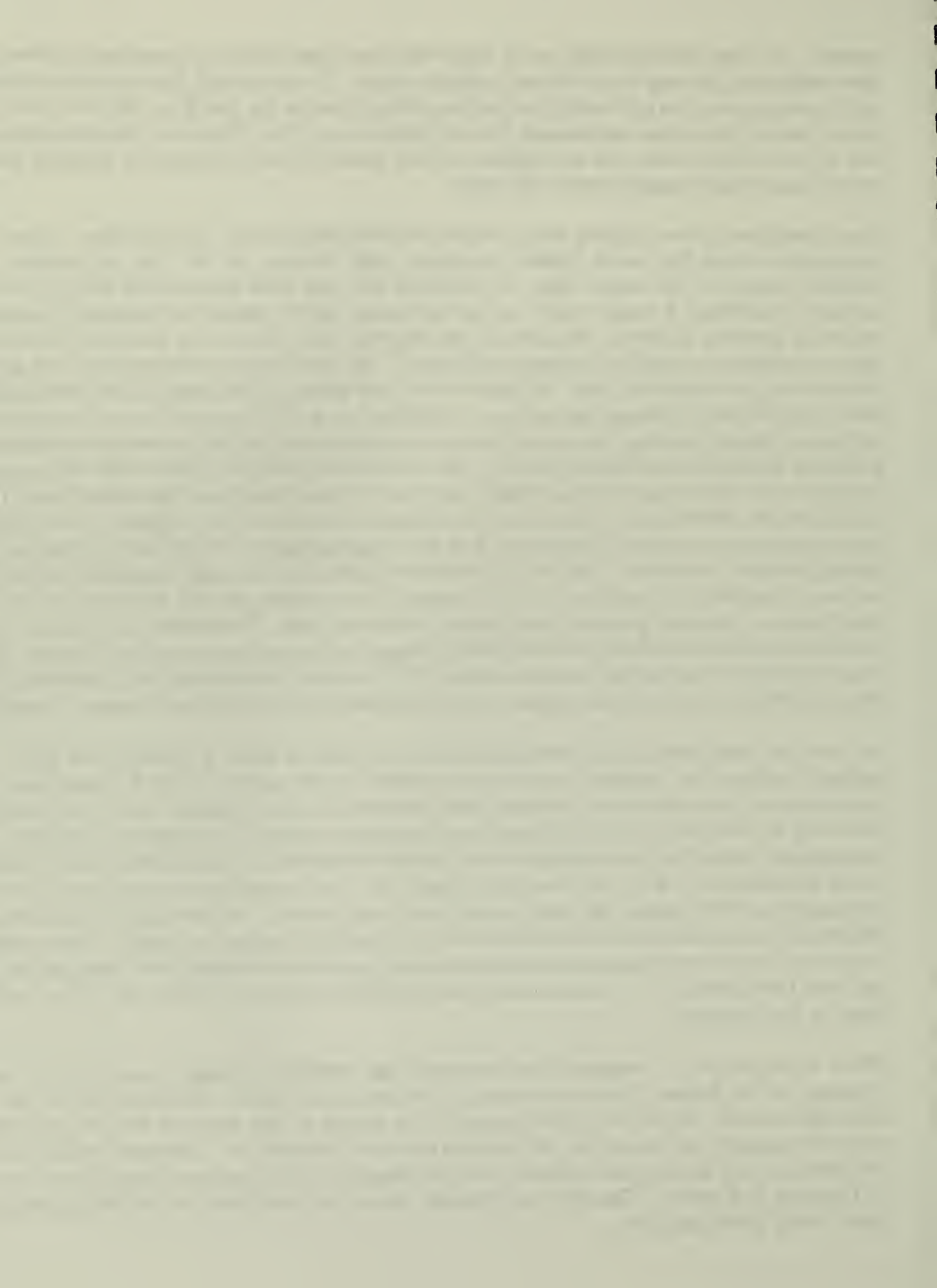
Most of the first floor window sash are original judging from the style of the muntin profile and from their construction. The profile is a style found from the beginning of the 19th century until about 1840. The construction is typical of this period, with morticed muntins and pegged

corners. An x-ray taken through one of these windows shows that the present sash hardware has been added and the peg in the corner is clearly visible. On the second floor, with the exception of the window over the stair which has sash matching those on the first floor, the lower sash have raised corner braces that are unusual for sash found in ca. 1830. However, in both profile style and in construction these sash are similar to those found on the first floor and could be original to the house; paint analysis could tell more.

Most alterations to the building seem to have occurred this century, 1936 and after. A pre-1936 photograph shows the house without the wings, with shutters on the first and second floor windows (those on the second floor are louvered and may have been added later in the 19th century) and having a small lean-to at the northwest corner where the previously mentioned relocated doorway is found. Presumably the doorway gave access to a detached kitchen (the lean-to appears too small to served as a kitchen). The lean-to was removed when the present kitchen wing was added in 1936. At this time all the doors on the second floor were installed presumably replacing thinner batten doors. Judging from a nail removed from the header of the northwest hallway opening, the second floor door openings are original, as are the vertical board partitions which have had plaster added to the room sides this century (wire nails and expanded metal lath are used as seen in the x-rays). As noted in the architectural historians' report (page 21-22) the rail of the stair to the second floor has evidence of having engaged the fascia of the stair opening at the second floor level. It is now approximately 3 inches away from the fascia, making the stair narrower. The rail at the second floor along the stair opening is not original and was added with wire nails prior to the removal of the hallway paint as evidenced by the paint found below a removed piece of trim fastened with wire nails. Presumably this rail was added in 1936; the paint would have been removed at some time, weeks or years, after this date. There is no evidence of a rail at this location earlier. (It is not clear how the stair rail terminated since the second floor newel does not appear to show evidence of relocation and may not be original.)

On the first floor, based on a wire nail in an x-ray taken in 1990, it appears that there were passages between the northeast and southeast rooms on the outside of the fireplaces where the present closets now are located. Although the hardware has been changed, there is evidence that the swing of the door in the northeast room has been changed. Presumably this same door arrangement existed on the western side and there is evidence in the southwest room, to the left of the fireplace, of a door that has been closed off. In the northwest room there is a china cupboard (ca. 1936) where the door would have been located. As noted by the architectural historians, it is not certain if the mantels in the two northern rooms are original. Paint research should indicate if these elements have been changed as well as indicating other changes that may not have been noted. It is recommended that an HSR be prepared before any further work is done on the building.

While at the property I examined the memorial slab that stands upright, under a tree, to the southeast of the house. The inscription on the slab is to Charles Pinckney II from his son. Although the style of the inscription appears to be similar to that found in the 18th century, or early 19th century, the weathering of the stone does not look that old. Jonathan Poston said that the slab is a copy of the grave marker from the cemetery in Charleston (Christ Church) where C. Pinckney II is buried. The slab was probably placed at Snee Farm by the Ewings who lived there in the 1930's and 40's.



Also, while in Charleston I did stop by the new offices of the Historic Charleston Foundation and met with Jonathan Poston and Connie Wyrick. We discussed some training issues and the possibility of a joint submission to the Cultural Resources Training Initiative for FY 93. On the 9th I visited Middleton Place for the purpose of inspecting a NHL, the Old Rice Mill. This structure is being affected by what I believe is the result of rising sea level. Located on a tidal river, the spill way now becomes flooded twice a day, and even the dam can be flooded during a spring tide. The result of the flooding is the erosion of a foundation corner that has caused the earth fill within to percolate out and the wall to move. I will prepare a letter to the owner, Charles Duell, with some recommendations and an indication of support for a Corps of Engineers grant he is seeking for erosion repair.

cc: R. Bower, WASO
R. Biallas, WASO
P. Hartwig, SERO ✓
R. Coate, SERO
Superintendent, FOSU



IN REPLY REFER TO:

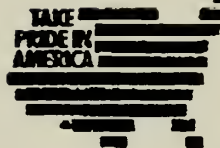
United States Department of the Interior

NATIONAL PARK SERVICE

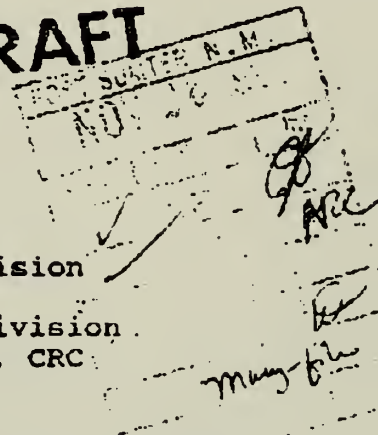
North Atlantic Region

15 State Street

Boston, Massachusetts 02109-3572



DRAFT



H30 (NAR-CRC)

Memorandum

To: Chief, Cultural Resources Management Division

Through: Manager, Cultural Resources Management Division
Supervisor, Building Conservation Branch, CRC

From: Architectural Conservator, BCB/CRC

Subject: Trip Report; Charles Pinckney National Historic Site,
October 7-8, 1991

On October 7, 1991 I flew to Charleston, SC, to collect paint samples from the exterior of the Charles Pinckney house in nearby Mount Pleasant. The house is about to be stripped in preparation for painting; the samples will provide a paint history of the house up until this date. Robert Botts, Maintenance Worker, met my plane and drove me to the site; we arrived about 11:15 AM.

Rene Cote, Historical Architect, SERO, and Don Gronwaldt, Chief of Maintenance, were at the site when I arrived. The house was built at some point between 1820 and 1830, determined by an examination of the nails. The east and west wings were added in 1936.

The paint was in overall bad condition with much flaking and peeling; biological growth was active on the north and shaded facades. D. Gronwaldt briefly described the South Carolina climate and its affect on paint. The high heat and solar radiation, combined with high humidity, causes paint failure in most situations and failure after a few years is common. Re-painting in the region occurs on a frequent basis. He thought that an early-nineteenth-century house should have a greater amount of paint on it than the Pinckney house has, and considered the possibility that all surfaces had been stripped of paint or had the siding replaced within the last half century. However, there was no discernable evidence of stripping. In a recent conversation with E. Blaine Cliver, Chief of Preservation Assistance, it was learned that the nails in the south facade siding dated to the 1820-1830 period, indicating original siding and most likely, original paint layers.





Approved: Chief, Cultural Resources Management

Date: _____

Concurred: ARD, Planning & Resource Preservation

Date: _____

cc:

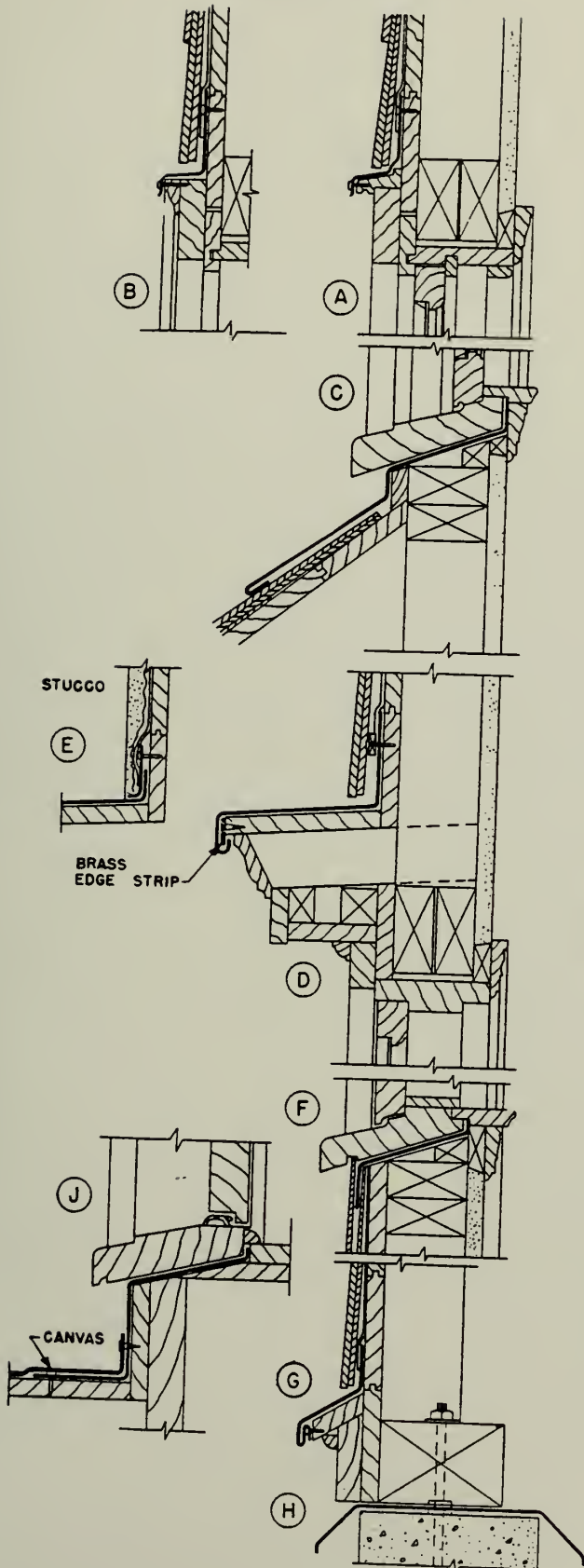
J. Tucker, Supt., FOSU

R. Cote, Hist. Arch., SERO

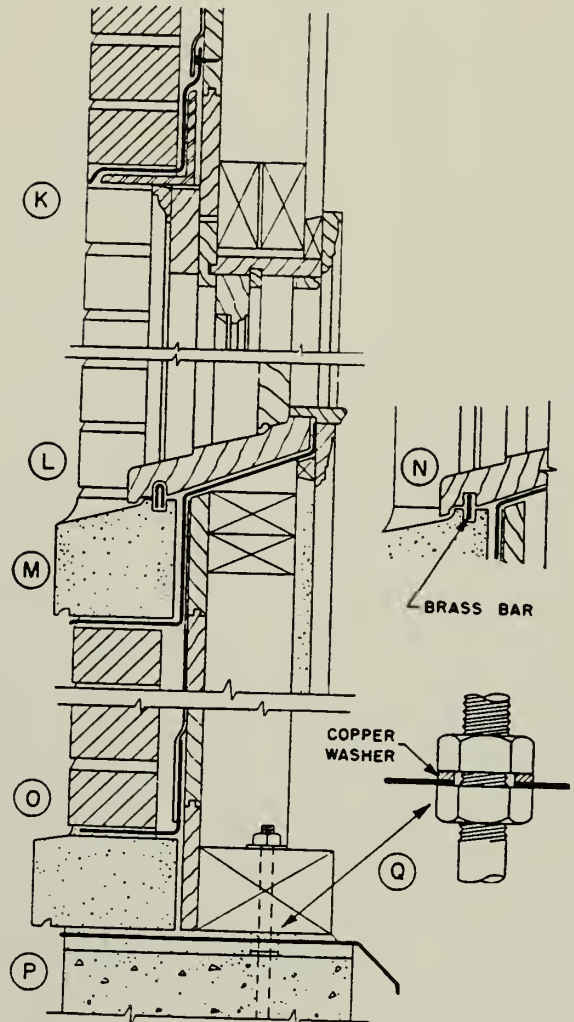
562

3202

Wood-frame construction



Brick veneer on wood frame



- A — CASING FLASHING - DRIP CAP
- B — CASING FLASHING - MOLDING
- C — DORMER SILL FLASHING
- D — WINDOW HEAD CORNICE - SHINGLES
- E — WINDOW HEAD CORNICE - STUCCO
- F — CASEMENT WINDOW SILL FLASHING - HIDDEN
- G — WATER TABLE FLASHING
- H — TERMITE SHIELD ON FOUNDATION WALL
- J — DOOR SILL ABOVE CANVAS DECK
- K — WINDOW HEAD FLASHING
- L — WATER BAR - COPPER
- M — WINDOW SILL FLASHING
- N — ALTERNATE WATER BAR - BRASS
- O — WATER TABLE FLASHING
- P — TERMITE SHIELD
- Q — ANCHOR BOLT FLASHING

Flashing for window and sill

